

TUXEDO FARMS

TUXEDO FARMS SMARTCODE v9.2

Approved November 2010

Update Approved April 2015

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INTRODUCTION**ARTICLE 1. AUTHORITY**

- 1.1 AUTHORITY
- 1.2 INTERPRETATION
- 1.3 ADMINISTRATION AND WAIVERS
- 1.4 REGULATING PLANS &
TRANSECT ZONES

ARTICLE 2. GENERAL PROVISIONS

- 2.1 INTRODUCTION
- 2.2 BUILDING TYPES
- 2.3 BUILDING USE
- 2.4 BUILDING PLACEMENT
- 2.5 BUILDING CONFIGURATION
- 2.6 PARKING
- 2.7 CIVIC SPACES/BUILDINGS
- 2.8 THOROUGHFARE STANDARDS
- 2.9 PUBLIC FRONTAGES
- 2.10 SIGNAGE STANDARDS
- 2.11 LANDSCAPE STANDARDS
- 2.12 ARCHITECTURAL STANDARDS

ARTICLE 3. REGULATING PLANS

- SC A-1 REGULATING PLAN
- SC A-2 ROAD HIERARCHY PLAN

ARTICLE 4. STANDARDS AND TABLES

- TABLE 1 TRANSECT ZONE SUMMARY
- TABLE 2 PRIVATE FRONTAGES
- TABLE 3 DEFINITIONS ILLUSTRATED
- TABLE 4 BUILDING CONFIGURATION
- TABLE 5 BUILDING PLACEMENT
- TABLE 6 BUILDING TYPES
- TABLE 7 BUILDING BULK STANDARDS
- TABLE 8 THOROUGHFARE ASSEMBLIES
- TABLE 9 PUBLIC LIGHTING
- TABLE 10 PUBLIC PLANTING
- TABLE 11 CIVIC SPACE

ARTICLE 5. DEFINITIONS OF TERMS**CHECKLIST FOR BUILDINGS**

1.1 AUTHORITY

1.1.1 The SmartCode is a component of the Design Standards applicable to the Tuxedo Farm Development. The Design Standards are appended to and incorporated by reference into the Amended and Restated Special Permit for Tuxedo Farm (“Special Permit”) adopted by the Town Board on _____,2010. Compliance with the Design Standards is required.

1.1.2 The SmartCode sets forth in one integrated manual the following standards, regulations, and guidelines applicable to Tuxedo Farm:

- a. Lot and bulk standards, including Lot area, yard requirements, and height limitations, per the Special Permit and Section 98-23F(1) and (2) of the Town PID Law applicable to Tuxedo Farm;
- b. The arrangement, character, extent, width, grade and location of all streets, per the Special Permit and Section 98-23F(3) of the Town PID Law applicable to Tuxedo Farm;
- c. Off street parking and loading requirements, per the Special Permit and Section 98-17 of the Town PID Law applicable to Tuxedo Farm;

1.2 INTERPRETATION

1.2.1 The word “shall” is mandatory; “should” is recommended; and “may” is optional. Capitalized terms shall be given the meaning as defined in Article 5 Definitions of Terms. Those terms not defined in Article 5 shall be defined per the Tuxedo Zoning Law. If the term is not defined in either Article 5 or the Tuxedo Zoning Law, the term shall be given their dictionary definition unless the term is a technical term or phrase, in which case it shall be given its generally accepted technical definition.

1.2.2 In the event of a conflict within the SmartCode, numerical dimensions and percentages shall take precedence over graphics, including diagrams and illustrations.

1.3. ADMINISTRATION AND WAIVERS

1.3.1 As authorized in the Special Permit, the Planning Board shall administer the provisions of the SmartCode. The SmartCode shall be binding upon the Architectural Review Board and the Code Enforcement Officer.

1.3.2 As authorized in the Special Permit, the Planning Board may grant an Individual Approval and impose reasonable conditions on the issuance of such an Individual Approval where such an Individual Approval is authorized in the SmartCode and is consistent with the Special Permit and Preliminary Plan.

1.3.3 The Planning Board is hereby authorized to grant a Waiver or Waivers to the SmartCode on a case by case basis provided the Planning Board finds justification for the grant of such Waiver on the following specific grounds:

- a. the Waiver is the result of a site or design condition unique to a particular development site and not otherwise common within the development area;
- b. grant of the Waiver will not cause an adverse environmental impact;
- c. grant of the Waiver will not create any nuisance or unsafe condition;
- d. grant of the Waiver will not prohibit the ability to construct a home on any lot in accordance with the Architectural Styles and Landscape Guidelines required by the Design Guidelines; and
- e. grant of the Waiver is consistent with the Preliminary Plan and Special Permit.

- 1.3.4** The Planning Board is authorized to impose reasonable conditions on the grant of any Waiver. Under no circumstance, shall the Planning Board waive any of the following:
- a. Permitted building uses
 - b. Building Height
 - c. Minimum Lot dimensions
 - d. Minimum Side Setbacks
 - e. Maximum Lot Coverage
 - f. Maximum Impervious Coverage
 - g. Maximum Gross Floor Area
 - h. Permitted building types within a Transect Zone
 - i. Thoroughfare right-of-way width

1.4 REGULATING PLAN & TRANSECT ZONES

- 1.4.1** Transect Zones: Tuxedo Farm is best designed by grouping various areas for development into “Transect Zones” (T-Zones). Each Transect Zone represents a similar type of development to be governed by the same set of standards. The Transect Zone descriptions on Table 1 describe the general character of each Transect Zone.
- 1.4.2** A Transect Zone may include any of the elements indicated for its T-Zone number throughout this Code, in accordance with intent and the dimension standards summarized Table 1 and detailed in Table 6.
- 1.4.3** Regulating Plan: The Regulating Plan for Tuxedo Farm delineates the Transect Zones for the project.
- 1.4.4** Road Hierarchy Diagram: The Road Hierarchy Diagram delineates the Thoroughfare types and their location for the project.

2.1 INTRODUCTION

This article sets forth the basic elements of the SmartCode including Building Types, Building Use, Building Placement, Building Configuration, Parking, Civic Spaces, Thoroughfare Standards, Public Frontages, Signage, Landscape, and Architectural Standards.

2.2 PROVISIONS FOR BUILDING TYPES

2.2.1 Table 6 shows detailed specifications of all building types intended for Tuxedo Farm.

2.3 PROVISIONS FOR BUILDING USE**2.3.1 GENERAL**

a. Buildings in each Transect Zone shall be limited to those uses authorized in the Special Permit and as further defined in Table 1 and Table 6.

2.3.2 SPECIFIC TO TRANSECT ZONES T5 -1 AND T5-2

- a. First Story Commercial Uses shall be permitted in T5-1 and T5-2.
- b. Second Story Commercial Uses shall be permitted in T5-2.

2.4 PROVISIONS FOR BUILDING PLACEMENT**2.4.1 GENERAL**

- a. Table 1 shall supersede other tables unless otherwise specified in Table 1, except for Building Height which is specified in Table 6.
- b. Lots shall be dimensioned according to Table 1, Table 6 and Table 7.

Exceptions:

- 1. Corner Lots may exceed the maximum Lot Width dimension to accommodate the Principal Building Secondary Frontage Setback.
- 2. Lots that are bounded on one side by T1 may exceed the maximum Lot Width dimensions to accommodate Alleys or parking access.
- c. Building Placement types shall be as shown in Table 3 and Table 5.
- d. Buildings shall be placed in relation to the boundaries of their Lots according to Table 1, Table 3, and Table 6.

Exceptions:

- 1. Lots that are bounded on one side by T1 or CS and the other by another Lot are exempt from maximum side Setback requirements on the T1 or CS side. Principal Front Buildout shall be calculated using the standard Lot dimensions for the particular Building Type regardless of the actual Lot Width.
- e. One Principal Building at the Frontage, and one Outbuilding to the rear of the Principal Building, may be built on each Lot as shown in Table 3.
- f. Total Lot Coverage by buildings shall not exceed the limits in Table 1 and Table 6.

g. Facades shall be built parallel to a rectilinear Principal Frontage Line or to the tangent of a curved Principal Frontage Line, and have a minimum Frontage Buildout, as specified as Frontage Buildout on Table 1, Table 3 and Table 6.

Exceptions:

1. Lots in T3-1 are exempt by Waiver provided the Facade and Primary Frontage Buildout are angled no more than 30 degrees from parallel to Frontage Line. All other Building Placement requirements from Table 1, Table 3, and Table 6 shall be followed.

h. Setbacks for Principal Buildings shall be as shown in Table 1, Table 3, Table 6 and Article 2.6.

i. Rear Setbacks for Outbuildings shall be as shown in Table 1, Table 3, Table 6 and Article 2.6.

j. Frontage Buildout shall not exceed the limits in Table 1 and Table 6.

Exceptions:

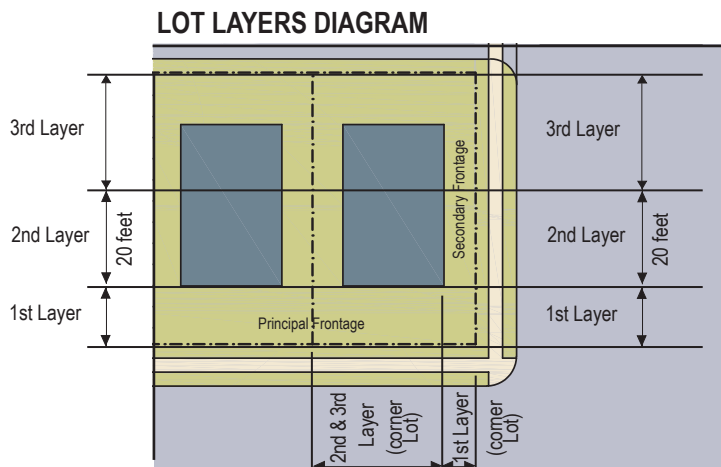
1. In T3-1 Frontage Buildout shall also include the sum of all portions of the Facade located no more than 20 ft. behind the portion of the Facade that is closest to the Principal Frontage Line.

2.5 PROVISIONS FOR BUILDING CONFIGURATION

2.5.1 LOT LAYERS

a. Lot Layers are referred to mostly in articles, tables and diagrams that regulate parking placement, Outbuildings, and architectural features that may Encroach into required Setbacks.

b. Buildings on corner Lots shall have two Private Frontages as shown in the Lot Layers Diagram below (and Table 3d). Directives for the second and third Layers pertain only to the Principal Frontage. Directives for the first Layer pertain to both Frontages.



2.5.2 GENERAL (EXCLUDING T1)

- a. The Private Frontage of buildings shall conform to and be allocated in accordance with Table 1 and Table 2.
- b. All Facades shall be glazed with clear glass no less than 30% of the first Story.
- c. Primary Building Heights shall conform to Table 1, Table 4, and Table 6.
- d. Backbuildings shall be 1 Story max in Height and shall not exceed 18' to the ridge.
- e. Outbuilding Height shall not exceed 30' to the ridge.
- f. Story Height limits do not apply to Basements, masts, belfries, clock towers, cupolas or widow walks.
- g. Chimney flues, water tanks, and elevator bulkheads may exceed the Height limit by no more than 10 feet.

2.5.3 SPECIFIC TO TRANSECT ZONE T3-1

- a. The Hillside Homes condition, in accordance with Table 4, may be used by Individual Approval where the slopes from front to back of the lot exceeds 33% and shall be exempt from usable lot maximum slope area requirements in Table 7.

2.5.4 SPECIFIC TO TRANSECT ZONES T5-1, T5-2

- a. Awnings, Arcades, and Galleries may Encroach the private Sidewalk to within 2 feet of the Curb within a private right-of-way but must clear the Sidewalk vertically by at least 8 feet.
- b. Stoops, Lightwells, balconies, and Terraces may Encroach the first Layer 100% of its depth. (Table 3)
- c. Loading docks and service areas shall be permitted on Frontages only by Waiver.
- d. In the absence of a building Facade along any part of a Frontage Line, a Streetscreen shall be built co-planar with the Facade.
- e. Streetscreens should be between 3.5 and 8 feet in Height. The Streetscreen may be replaced by a hedge or fence by Individual Approval. Streetscreens shall have openings no larger than necessary to allow automobile and pedestrian access. The Planning Board may allow wider openings to ensure adequate sight distance requirements are met.
- f. Shopfronts shall have 70% or more glazing on primary Facade.

2.6 PROVISIONS FOR PARKING**2.6.1 PARKING LOCATION GENERAL**

- a. Parking Areas and Parking Lots shall be masked from the Frontage by a Building or Streetscreen. Pervious paving materials are preferred for Parking Lots behind buildings.
- b. All Parking Areas, Parking Lots and garages shall be located at the third Layer.

Exceptions:

1. Side-entry or rear-entry garages may be allowed in the second Layer.
2. On front-loaded uphill Lots, the garage must be set back 4 ft min. from the primary Facade. Garage doors may not exceed 9 ft in width and must have a canopy overhang of 18" min.
3. On front-loaded downhill Lots, when the slope is less than or equal to

20% the garage must be in the third Layer or 15 ft. min. behind the primary Facade. When the slope is greater than 20% the garage may be as close as 4 ft. behind the primary Facade and follow additional requirements for uphill Lots.

c. A maximum 14% slope is allowed for Driveways and a maximum 4% slope is permitted for the first 20 ft. of Driveway that extends from the Curb of the street.

Exceptions:

1. In the Hillside Home Condition, Driveways may be a maximum 10% slope for the first 20 ft of Driveway that extends from the Curb.

d. Parking shall be accessed by Rear Alleys, when such are available per the Road Hierarchy Diagram. Any building type may be accessed from an alley.

e. Whether parking is accessed from a street or an alley, the portion of the Principal Building or Outbuilding that contains the garage shall have a 20 ft. minimum setback from either the ROW or the pavement edge of the alley to accommodate a parking pad in front of the garage.

f. When an alley is not present, parking in corner Lots must be accessed from the Secondary Frontage.

Exceptions:

1. On Lots where the grade exceeds 20%, parking may be accessed from the front on the interior side of the Lot.

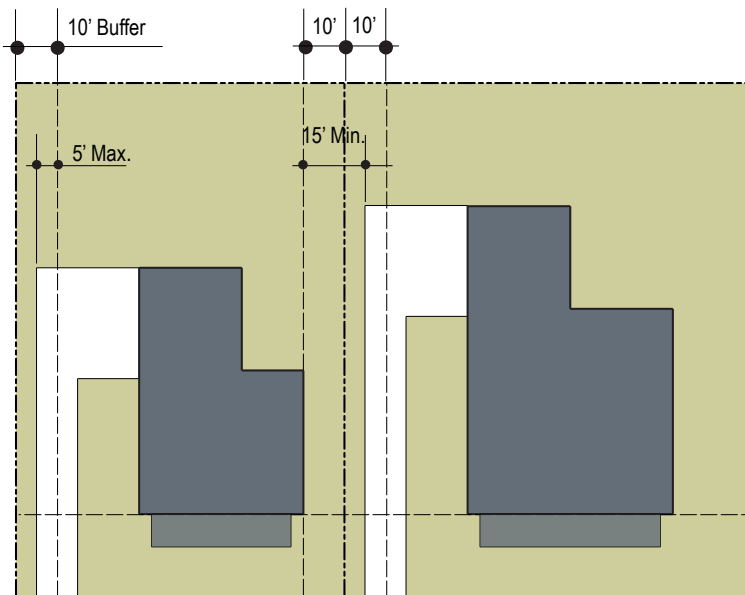
g. There shall be only one Driveway per Lot and it shall be no wider than 10 ft. in the first Layer.

Exceptions:

1. In T5-1 and T5-2, vehicular entrances to Parking Lots and garages shall be no wider than 24 ft. at the Frontage.

2.6.2 PARKING LOCATION SPECIFIC TO TRANSECT ZONES T3-1 and Hillside Homes Condition

a. Driveways may Encroach into the 10 ft. landscape buffer up to 5 ft. No two adjacent Lots shall enter on the same adjoining landscape buffer. A minimum of 15 ft. buffer combined for both adjoining Lots shall be maintained. (See below)



2.6.3 PARKING LOCATION SPECIFIC TO TRANSECT ZONES T5-1 AND T5-2

- a. Pedestrian exits from all Parking Lots and garages shall be directly to a Frontage Line (ie. not directly into a building) except underground levels which may be exited by pedestrians directly into a building.
- b. A minimum of one bicycle space in a centralized rack shall be provided within the Public or Private Frontage for every ten (10) vehicular parking spaces.

2.6.4 PARKING QUANTITY STANDARDS

- a. Parking ratios shall be as follows:
 - Single Family Detached: 2 spaces per unit minimum except where no on-street parking, 4 spaces minimum, including garage spaces.
 - Carriage Houses and Townhouses: 2 spaces per unit minimum
 - Multifamily: 1.5 spaces per unit minimum
 - Commercial/Retail: 3 spaces per 1000sf of GSF of use minimum
 - Civic Buildings: 3 spaces per 1000sf of GSF of use minimum
- b. The Planning Board may provide a Waiver for parking ratio requirements for specific uses on a case-by-case basis.

2.7 PROVISIONS FOR CIVIC SPACES AND BUILDINGS

2.7.1 CIVIC SPACES (CS) GENERAL

- a. Civic Spaces are public sites permanently dedicated to Open Space and shall be generally designed as described in Table 11.
- b. Civic Buildings are sites used for cultural activities, education, religious use, recreation, government use, transit, and municipal parking or for a similar use at a location approved by the Planning Board and allowed by the Special Permit and the Zoning Law.
- c. Parking for Civic Buildings may be reduced at the discretion of the Planning Board. Parking Areas and Parking Lots are permitted for Civic Buildings

2.7.2 CIVIC BUILDINGS (CB) GENERAL

- a. Civic Building layout, bulk, and site design shall be determined by Individual Approval from the Planning Board.
- b. The architectural design of Civic Buildings shall be subject to the approval of

SMARTCODE

Tuxedo Farms, Orange County, New York

- the Architectural Review Board.
- c. Civic Buildings shall not be subject to Table 4.

2.8 PROVISIONS FOR THOROUGHFARE STANDARDS

2.8.1 GENERAL

- a. Thoroughfares are intended for use by vehicular and pedestrian traffic and to provide access to Lots and Open Spaces.
- b. Thoroughfares shall generally consist of vehicular lanes and Public Frontages.
- c. Thoroughfares shall be designed in accordance with the Road Hierarchy Diagram and Table 8.
- d. Each Lot shall adjoin a vehicular Thoroughfare.
- e. Pedestrian comfort shall be a primary consideration of the Thoroughfare. Design conflict between vehicular and pedestrian movement generally shall be decided in favor of the pedestrian.
- f. In T3-1 up to four (4) Lots and in T3-2 up to two (2) Lots, each with a minimum of 15 feet frontage may be accessed from a Hammerhead Turnaround.

2.9 PROVISIONS FOR PUBLIC FRONTAGES

2.9.1 GENERAL

- a. The Public Frontage contributes to the character of the Transect Zone, and includes the types of Sidewalk, Curb, Planter, and street trees.
- b. Public Frontages shall be designed as shown in Table 8
- c. Within the Public Frontages, the prescribed types of Public Planting and Public Lighting shall be as shown in Table 8, Table 9 and Table 10.

2.10 PROVISIONS FOR SIGNAGE STANDARDS

2.10.1 GENERAL

- a. All signage, except address numbers, shall be subject to Planning Board Review and be consistent with 911 requirements.
- b. There shall be no signage permitted additional to that specified in this section.
- c. The address number, no more than 6 inches measured vertically, shall be attached to the building in proximity to the Principal Entrance or at a mailbox.

2.10.2 SPECIFIC TO TRANSECT ZONES T3-1, T3-2, T4-1, T4-2, T4 NS, CB

- a. Signage shall not be illuminated.

2.10.3 SPECIFIC TO TRANSECT ZONES T5-1, T5-2

- a. Signage shall be externally illuminated, except that signage within the Shopfront glazing may be internally illuminated subject to Planning Board review.

2.11 PROVISIONS FOR LANDSCAPE STANDARDS

2.11.1 GENERAL

- a. Refer to Landscape Design Guidelines for planting requirements, plant types, planting soil depths, fencing, walls, grading, and slope stabilization.
- b. Trash containers shall be stored in the third Layer.

2.11.2 SPECIFIC TO TRANSECT ZONES T3-1, T3-2, T4-1, T4-2, T4 NS

- a. The first Layer may not be paved, with the exception of Driveways or loading and unloading, as specified in Section 2.6.

2.11.3 SPECIFIC TO TRANSECT ZONES T5-1, T5-2

- a. Trees shall not be required in the first Layer.
- b. The first Layer may be paved to match the pavement of the Public Frontage.

2.12 PROVISIONS FOR ARCHITECTURAL STANDARDS

2.12.1 GENERAL

- a. Refer to the Architectural Design Guidelines.

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ARTICLE 3. REGULATING PLANS

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ARTICLE 4. STANDARDS AND TABLES

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TABLE 2: Private Frontages. The Private Frontage is the area between the building Facade and the Frontage Line. See Landscape Design Guidelines for standards and specifications.

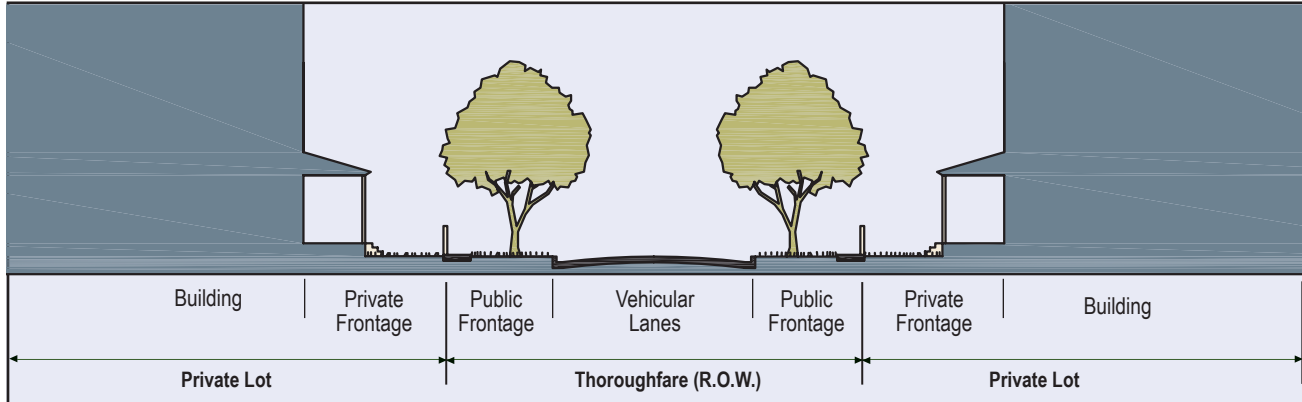
| | SECTION | PLAN |
|---|---|---|
| | LOT PRIVATE FRONTAGE R.O.W. PUBLIC FRONTAGE | LOT PRIVATE FRONTAGE R.O.W. PUBLIC FRONTAGE |
| <p>a. Common Yard: a planted Frontage wherein the Facade is set back modestly from the Frontage Line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape.</p> | | T3-1 T3-2 |
| <p>b. Porch & Fence: a planted Frontage wherein the Facade is set back from the Frontage Line with an attached porch permitted to Encroach. A fence at the Frontage Line maintains street spatial definition. Porches shall be no less than 8 feet deep.</p> | | T3-1 T3-2 T4-1 T4-2 T4 NS |
| <p>c. Terrace or Lightwell: a Frontage wherein the Facade is set back from the Frontage Line by an elevated Terrace or a sunken Lightwell. This type buffers Residential use from urban Sidewalks and removes the private yard from public Encroachment. Terraces are suitable for conversion to outdoor cafes.</p> | | T4-1 T4-2 T4 NS T5-1 T5-2 |
| <p>d. Forecourt: a Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. The Forecourt created is suitable for vehicular loading and unloading. This type should be allocated in conjunction with other Frontage types. Large trees within the Forecourts may overhang the Sidewalks.</p> | | T4-1 T4-2 T4 NS T5-1 T5-2 |
| <p>e. Stoop: a Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor Residential use.</p> | | T4-2 T4 NS T5-1 T5-2 |
| <p>f. Shopfront: a Frontage wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. This type is conventional for Retail use. Awnings should overlap the Sidewalk to within 2 feet of the Curb.</p> | | T5-1 T5-2 |
| <p>g. Gallery: a Frontage wherein the Facade is aligned close to the Frontage Line with an attached cantilevered shed or a lightweight colonnade overlapping the Sidewalk. This type is conventional for Retail use. The Gallery shall be no less than 10 feet wide and should overlap the Sidewalk to within 2 feet of the Curb. *This condition is only permitted when overlapping into a private right-of-way.</p> | | T5-1 T5-2 |
| <p>h. Arcade: a colonnade supporting habitable space that overlaps the Sidewalk that is in a private right of way or on private property, while the Facade at Sidewalk level remains at or behind the Frontage Line. This type is conventional for Retail use. The Arcade shall be no less than 12 feet wide and should overlap the Sidewalk to within 2 feet of the Curb. *This condition is only permitted when overlapping into a private right-of-way.</p> | | T5-1 T5-2 |

TABLE 3. DEFINITIONS ILLUSTRATED

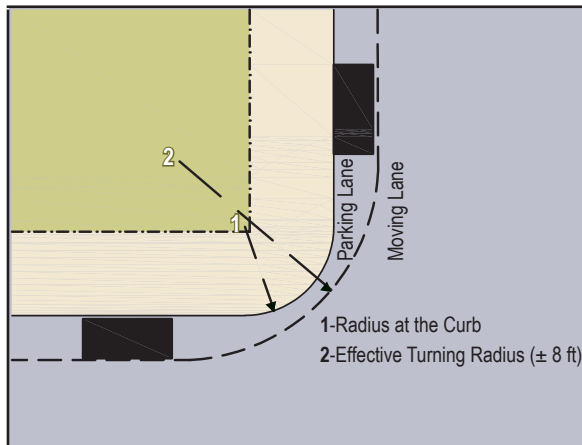
SMARTCODE

Tuxedo Farms, Orange County, New York

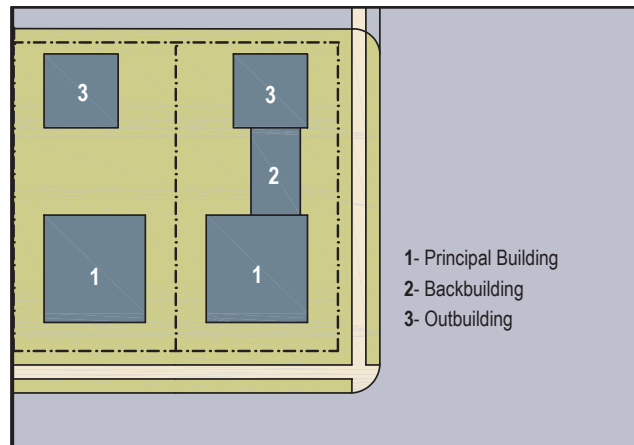
a. THOROUGHFARE & FRONTAGES



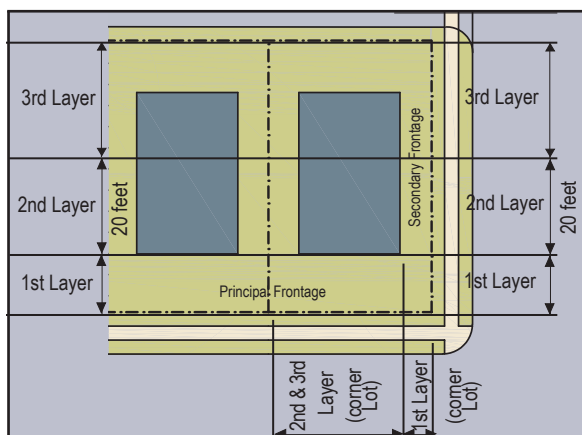
b. TURNING RADIUS



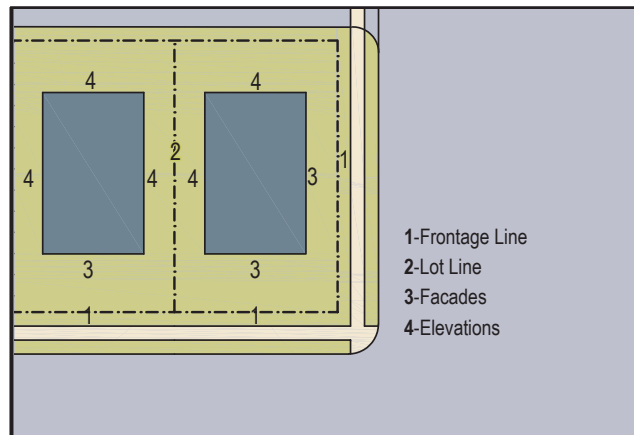
c. BUILDING PLACEMENT



d. LOT LAYERS



e. FRONTAGE & LOT LINES



f. SETBACK DESIGNATIONS

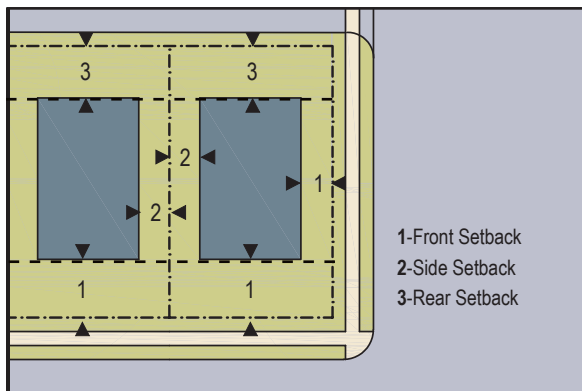
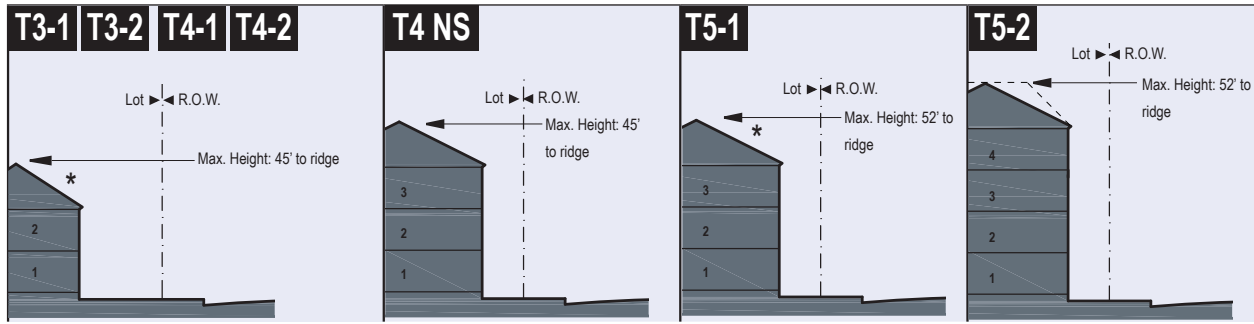
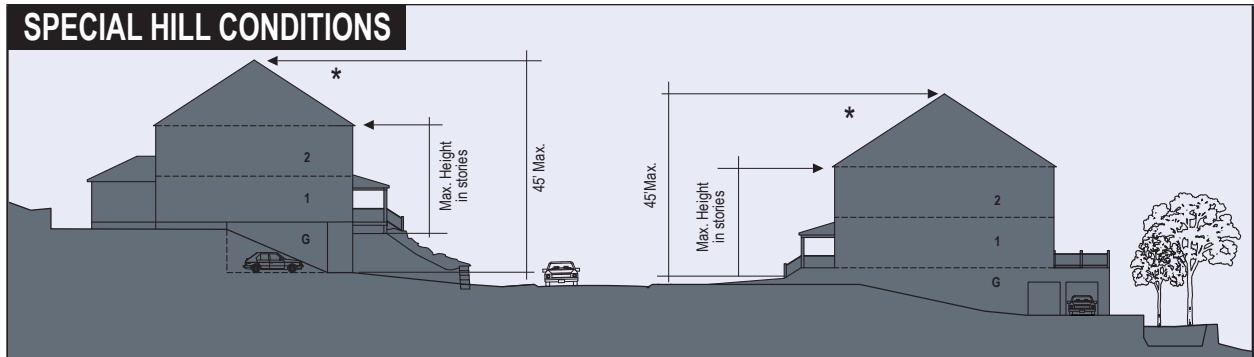


Table 4: Building Configuration. This table shows the Configurations for different building Heights for each Transect Zone.



* Habitable Attic.
See Building Type Descriptions (Table 6) for detailed specifications

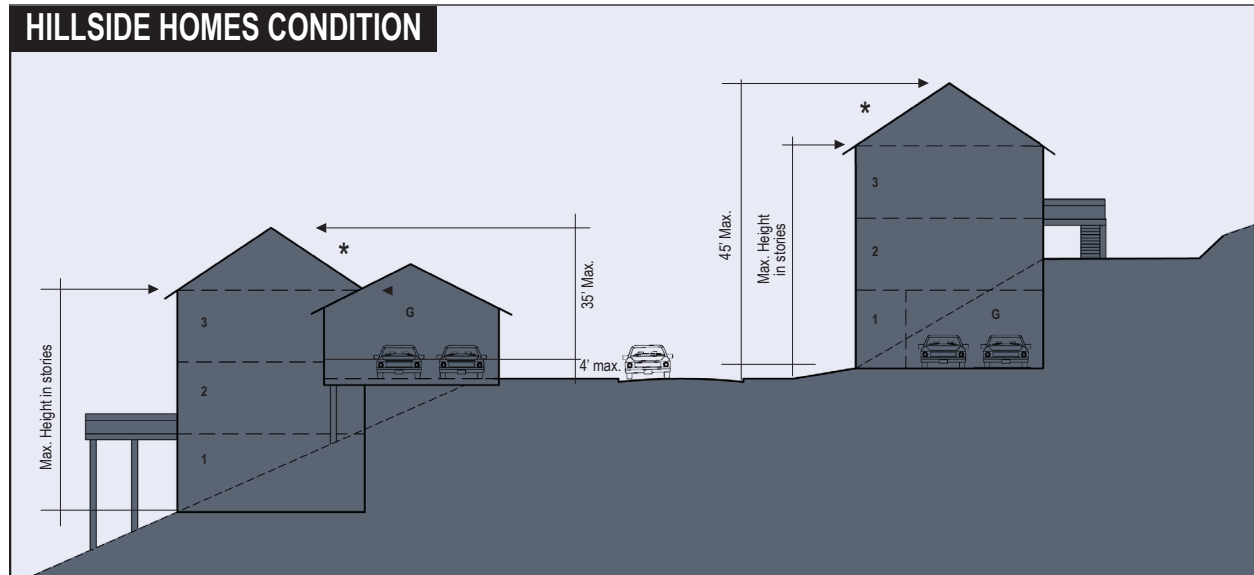


Up Hill Lots

Maximum Height shall be 2 stories primary living level and 85% Habitable Attic. Garage Level under primary living level shall have max Height 11 ft. floor to floor measured from base of garage door.

Down Hill Lots

Maximum Height shall be 2 stories primary living level and 85% Habitable Attic. The level under the primary living shall extend max 4' above Frontage Line measured from the midpoint of the Frontage Line.



Down Hill Lots

Maximum Height on the street shall be 2 stories primary living level. The level under the primary living shall extend max 4' above Frontage Line measured from the midpoint of the Frontage Line. Up to 2 levels are permitted below the primary living level as long as the cumulative Height does not exceed 3 stories and 85% Habitable Attic.

Up Hill Lots

Maximum Height shall be 3 stories including Basements, garage levels (if integral to the building) and 85% Habitable Attic. When the parking is integral or attached to the building, this level is the garage level. When parking is in a detached garage building, this building follows the regulations for Outbuildings and the lowermost level of the primary building is the first level.

TABLE 5. BUILDING PLACEMENT

SMARTCODE

Tuxedo Farms, Orange County, New York

Table 5: Building Placement. This table approximates the location of the structure relative to the boundaries of each individual Lot, establishing suitable basic building types for each Transect Zone.

| | |
|---|--|
| <p>a. Edgeyard: Specific Types - Estate, manor, village, cottage. A building that occupies the center of its Lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the Frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed Backbuilding and/or Outbuilding.</p> |  <div style="float: right; text-align: center;"> <div style="background-color: black; color: white; padding: 2px; margin-bottom: 2px;">T3-1</div> <div style="background-color: black; color: white; padding: 2px; margin-bottom: 2px;">T3-2</div> <div style="background-color: black; color: white; padding: 2px; margin-bottom: 2px;">T4-1</div> <div style="background-color: black; color: white; padding: 2px;">T4-2</div> </div> |
| <p>b. Sideyard: Specific Types - Carriage House, Townhouse, Multifamily building, Mixed-Use building. A building that occupies one side of the Lot with the Setback to the other side. A shallow Frontage Setback defines a more urban condition. If the adjacent building is similar with a blank side wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze. Energy costs, and sometimes noise, are reduced by sharing a party wall in this Configuration.</p> |  <div style="float: right; text-align: center;"> <div style="background-color: black; color: white; padding: 2px; margin-bottom: 2px;">T4-1</div> <div style="background-color: black; color: white; padding: 2px; margin-bottom: 2px;">T4-2</div> <div style="background-color: black; color: white; padding: 2px; margin-bottom: 2px;">T4 NS</div> <div style="background-color: black; color: white; padding: 2px; margin-bottom: 2px;">T5-1</div> <div style="background-color: black; color: white; padding: 2px;">T5-2</div> </div> |
| <p>c. Rearyard: Specific Types - Townhouse, Multifamily building, Mixed-Use building. A building that occupies the full Frontage, leaving the rear of the Lot as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. For its Commercial form, the rear yard can accommodate substantial parking.</p> |  <div style="float: right; text-align: center;"> <div style="background-color: black; color: white; padding: 2px; margin-bottom: 2px;">T4-1</div> <div style="background-color: black; color: white; padding: 2px; margin-bottom: 2px;">T4-2</div> <div style="background-color: black; color: white; padding: 2px; margin-bottom: 2px;">T4 NS</div> <div style="background-color: black; color: white; padding: 2px; margin-bottom: 2px;">T5-1</div> <div style="background-color: black; color: white; padding: 2px;">T5-2</div> </div> |
| <p>d. Courtyard: Specific Types - Multifamily building, Mixed-Use building. A building that occupies the boundaries of its Lot while internally defining one or more private patios or courtyards. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare.</p> |  <div style="float: right; text-align: center;"> <div style="background-color: black; color: white; padding: 2px; margin-bottom: 2px;">T5-1</div> <div style="background-color: black; color: white; padding: 2px;">T5-2</div> </div> |

SMARTCODE

Tuxedo Farms, Orange County, New York

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TABLE 6A. BUILDING TYPES – ESTATE

SMARTCODE

Tuxedo Farms, Orange County, New York



BUILDING TYPE, USE, LOCATION

| | |
|---------------------|--------------|
| Building Type | Estate House |
| Zones where allowed | T3-1, T3-2 |
| Building Use | Residential |

BUILDING CONFIGURATION

| | |
|-------------------------|---|
| Primary Building Height | 2.5 stories maximum including 85% maximum Habitable Attic. Floor-to-floor 12 ft maximum. In uphill condition, when garage level is under primary level, maximum 11 ft floor-to-floor is measured from bottom of garage door |
| Outbuilding Height | 1.5 stories max., 30' to ridge max.. |
| Building Placement | Edgeward |
| Lot Dimension | 125 ft. wide x 135 ft. deep min. or 200 ft. wide x 330 ft. deep max. |
| Lot Coverage | 20% max |

e. SETBACKS - PRINCIPAL BUILDING

| | |
|-------------------------------|--|
| (e.1) Front Setback Principal | See Table 1 |
| (e.2) Front Setback Secondary | 25 ft min, no max. |
| (e.3) Side Setbacks | 20 ft min, no max., additional landscape buffer, see landscape design guidelines |
| (e.4) Rear Setback | 30 ft min. |
| Frontage Buildout (Principal) | 40% min, 60% max. when Lot is wider than 140 ft., 30% min., 40% max. |
| Frontage Buildout (Secondary) | 30% min |

f. OUTBUILDING CONFIGURATION (SEE SEC. 2.6 FOR GARAGE EXCEPTIONS)

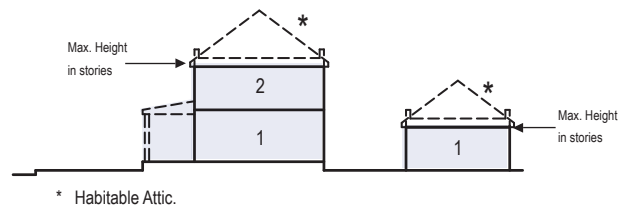
| | |
|---------------------|---------------------|
| Maximum Dimension | 700 GFA max. |
| (f.1) Front Setback | 25 ft. min. no max. |
| (f.2) Side Setbacks | 20 ft min. |
| (f.3) Rear Setback | 20 ft min. |

MISCELLANEOUS

| | |
|------------------------|---|
| Terraces / Decks | no restrictions |
| Landscape | Lots shall have a 10ft min landscape buffer in the front Setback. Lots shall have a 10ft min forested buffer in the rear and side Setbacks. For additional information see landscaping design guidelines. |
| Architectural Features | Porches up to 10ft deep may Encroach into the front principal and secondary Setbacks but may not Encroach into landscape or forested buffers. Bay windows may Encroach into the Setbacks up to 4ft but may not Encroach into landscape buffers. |

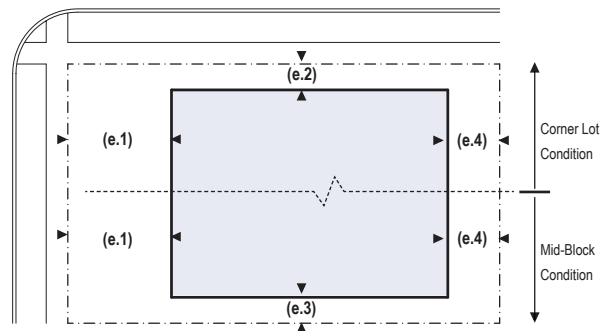
BUILDING CONFIGURATION

1. Height shall be measured as specified on Table 4.



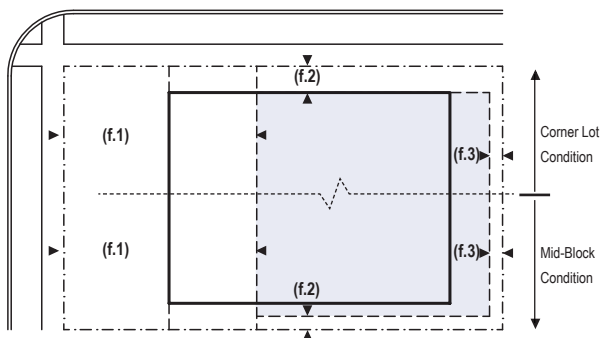
SETBACKS - PRINCIPAL BLDG

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot Lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The Elevation of the Outbuilding shall be distanced from the Lot Lines as shown.



General Notes

- Total Impervious Coverage shall not exceed 30%
- Corner Lots with radius or chamfered R.O.W: Setback line at corner shall be the perpendicular intersection front Setback line and the side Setback line

SMARTCODE

Tuxedo Farms, Orange County, New York

TABLE 6B. BUILDING TYPES – MANOR



BUILDING TYPE, USE, LOCATION

| | |
|---------------------|-------------|
| Building Type | Manor |
| Zones where allowed | T3-1, T3-2 |
| Building Use | Residential |

BUILDING CONFIGURATION

| | |
|-------------------------|---|
| Primary Building Height | 2.5 stories maximum including 85% maximum Habitable Attic. Floor-to-floor 12 ft maximum. In uphill condition, when garage level is under primary level, maximum 11 ft floor-to-floor is measured from bottom of garage door |
| Outbuilding Height | 1.5 stories max., 30' to ridge max. |
| Building Placement | Edgeyard |
| Lot Dimension | 100 ft x 125 ft min. |
| Lot Coverage | 25% max |

e. SETBACKS - PRINCIPAL BUILDING

| | |
|-------------------------------|--|
| (e.1) Front Setback Principal | See Table 1. |
| (e.2) Front Setback Secondary | 25 ft min, no max. |
| (e.3) Side Setbacks | 20 ft min, no max., additional landscape buffer, see landscape design guidelines |
| (e.4) Rear Setback | 25 ft min. |
| Frontage Buildout (Principal) | 40% min, 60% max. |
| Frontage Buildout (Secondary) | 50% min |

f. OUTBUILDING CONFIGURATION (SEE SEC. 2.6 FOR GARAGE EXCEPTIONS)

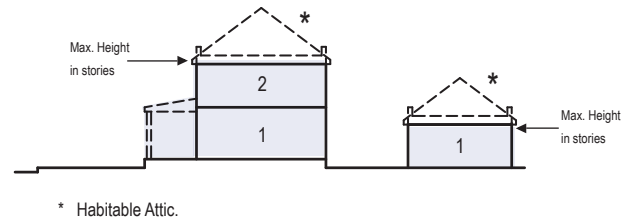
| | |
|---------------------|---------------------|
| Maximum Dimension | 700 GFA max. |
| (f.1) Front Setback | 25 ft. min. no max. |
| (f.2) Side Setbacks | 20 ft min. |
| (f.3) Rear Setback | 20 ft min. |

MISCELLANEOUS

| | |
|------------------------|--|
| Terraces / Decks | no restrictions |
| Landscape | Lots shall have a 10ft min landscape buffer in the front Setback. Lots shall have a 10ft min forested buffer in the rear and side Setbacks. For additional information see landscaping design guidelines. See landscaping design guidelines |
| Architectural Features | Porches up to 10ft deep may Encroach into the front principal and secondary Setbacks but may not Encroach into landscape or forested buffers. Bay windows may Encroach into the Setbacks up to 4ft but may not Encroach into landscape buffers. |

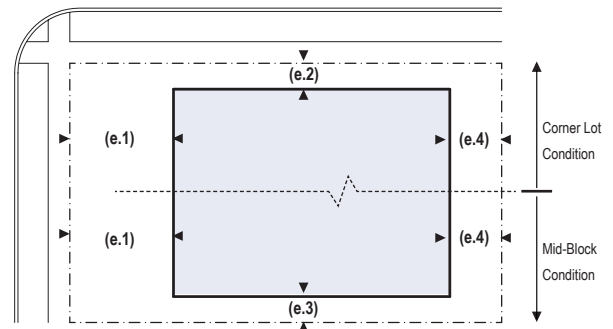
BUILDING CONFIGURATION

1. Height shall be measured as specified on Table 4.



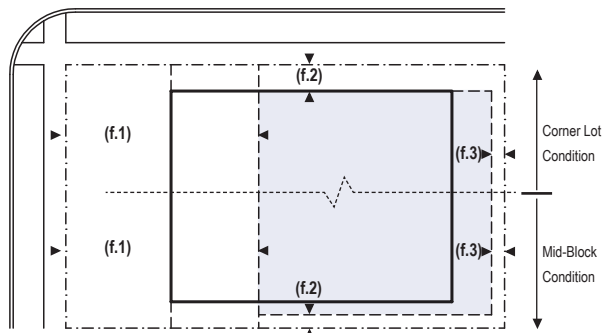
SETBACKS - PRINCIPAL BLDG

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot Lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The Elevation of the Outbuilding shall be distanced from the Lot Lines as shown.



General Notes

- Total Impervious Coverage shall not exceed 35%
- Corner Lots with radius or chamfered R.O.W: Setback line at corner shall be the perpendicular intersection front Setback line and the side Setback line

TABLE 6C. BUILDING TYPES – VILLAGE

SMARTCODE

Tuxedo Farms, Orange County, New York



BUILDING TYPE, USE, LOCATION

| | |
|---------------------|------------------------|
| Building Type | Village House |
| Zones where allowed | T3-1, T3-2, T4-1, T4-2 |
| Building Use | Residential |

BUILDING CONFIGURATION

| | |
|-------------------------|---|
| Primary Building Height | 2.5 stories maximum including 85% maximum Habitable Attic. Floor-to-floor 11 ft maximum. In uphill condition, when garage level is under primary level, maximum 11 ft floor-to-floor is measured from bottom of garage door |
| Outbuilding Height | 1.5 stories max., 30' to ridge max. |
| Building Placement | Edgeyard |
| Lot Dimension | 80 ft x 100 ft min. |
| Lot Coverage | 30% max |

e. SETBACKS - PRINCIPAL BUILDING

| | |
|-------------------------------|---|
| (e.1) Front Setback Principal | See Table 1 |
| (e.2) Front Setback Secondary | 15 ft min. At corner, same as front Setback of adjacent Lot. |
| (e.3) Side Setbacks | 10 ft min. - additional landscape buffer in T3-1 & T3-2 - see landscape design guidelines |
| (e.4) Rear Setback | 10 ft min. |
| Frontage Buildout (Principal) | 40% min, 70% max. |
| Frontage Buildout (Secondary) | 50% min |

f. OUTBUILDING CONFIGURATION (SEE SEC. 2.6 FOR GARAGE EXCEPTIONS)

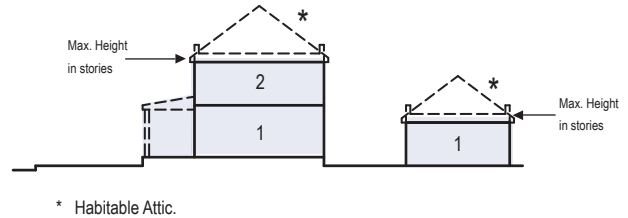
| | |
|---------------------|--------------|
| Maximum Dimension | 700 GFA max. |
| (f.1) Front Setback | In Layer 3 |
| (f.2) Side Setbacks | 10 ft min. |
| (f.3) Rear Setback | 10 ft min. |

MISCELLANEOUS

| | |
|------------------------|--|
| Terraces / Decks | In T3-1: no restrictions. In T3-2, T4-1 and T4-2: decks may be 15% max. of GSF; Terraces may be 15% max. of GSF; decks and Terraces combined may be no more than 20% of GSF; balconies or decks above primary living level may not protrude more than 8 ft from the building Facade. |
| Landscape | See landscaping design guidelines |
| Architectural Features | Porches up to 10ft deep may Encroach into the front principal and secondary Setbacks but may not Encroach into landscape or forested buffers. Bay windows may Encroach into the Setbacks up to 4ft but may not Encroach into landscape buffers. |

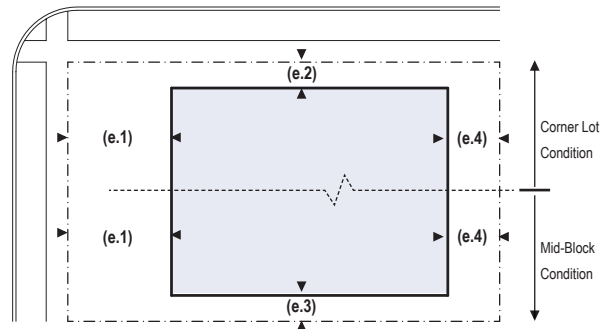
BUILDING CONFIGURATION

1. Height shall be measured as specified on Table 4.



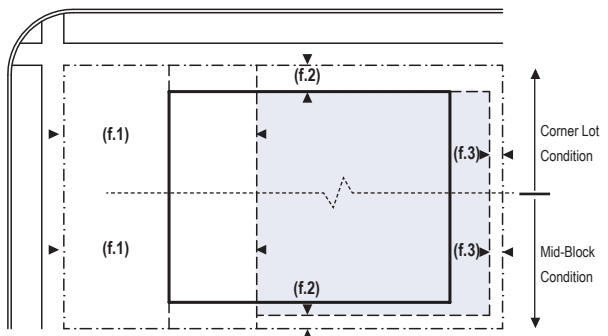
SETBACKS - PRINCIPAL BLDG

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot Lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The Elevation of the Outbuilding shall be distanced from the Lot Lines as shown.



General Notes

- Total Impervious Coverage shall not exceed 40%
- Corner Lots with radius or chamfered R.O.W: Setback line at corner shall be the perpendicular intersection front Setback line and the side Setback line

SMARTCODE

TABLE 6D. BUILDING TYPES – COTTAGE (FRONT LOADED)

Tuxedo Farms, Orange County, New York



BUILDING TYPE, USE, LOCATION

| | |
|---------------------|------------------------|
| Building Type | Cottage (Front Loaded) |
| Zones where allowed | T3-2, T4-1, T4-2, |
| Building Use | Residential |

BUILDING CONFIGURATION

| | |
|-------------------------|---|
| Primary Building Height | 2.5 stories maximum including 85% maximum Habitable Attic. Floor-to-floor 11 ft maximum. In uphill condition, when garage level is under primary level, maximum 11 ft floor-to-floor is measured from bottom of garage door |
| Outbuilding Height | 1.5 stories max., 30' to ridge max. |
| Building Placement | Edgeyard |
| Lot Dimension | 65 ft x 100 ft min. |
| Lot Coverage | 45% max |

e. SETBACKS - PRINCIPAL BUILDING

| | |
|-------------------------------|--|
| (e.1) Front Setback Principal | See Table 1 |
| (e.2) Front Setback Secondary | 10 ft min. At corner, same as front Setback of adjacent Lot. |
| (e.3) Side Setbacks | 10' min. |
| (e.4) Rear Setback | 10 ft min. |
| Frontage Buildout (Principal) | 35% min, 70% max. |
| Frontage Buildout (Secondary) | 50% min, 90% max. |

f. OUTBUILDING CONFIGURATION (SEE SEC. 2.6 FOR GARAGE EXCEPTIONS)

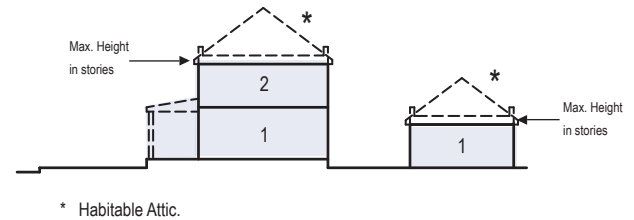
| | |
|---------------------|--------------|
| Maximum Dimension | 700 GFA max. |
| (f.1) Front Setback | In Layer 3 |
| (f.2) Side Setbacks | 10 ft min. |
| (f.3) Rear Setback | 10 ft min. |

MISCELLANEOUS

| | |
|------------------------|--|
| Terraces / Decks | Decks may be 15% max. of GSF; Terraces may be 15% max. of GSF; decks and Terraces combined may be no more than 20% of GSF; balconies or decks above primary living level may not protrude more than 8 ft from the building Facade. T4-1 and T4-2: decks may be 15% max. of GSF; Terraces may be 15% max. of GSF; decks and Terraces combined may be no more than 15% of GSF; balconies or decks above primary living level may not protrude more than 8 ft from the building Facade. |
| Landscape | See landscaping design guidelines |
| Architectural Features | Porches up to 10ft deep may Encroach into the front principal and secondary Setbacks but may not Encroach into landscape or forested buffers. Bay windows may Encroach into the Setbacks up to 4ft but may not Encroach into landscape buffers. |

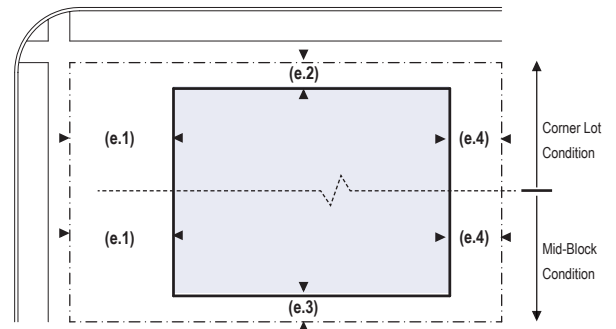
BUILDING CONFIGURATION

1. Height shall be measured as specified on Table 4.



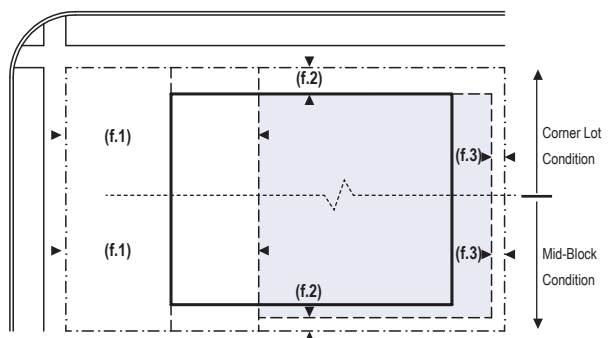
SETBACKS - PRINCIPAL BLDG

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot Lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The Elevation of the Outbuilding shall be distanced from the Lot Lines as shown.



General Notes

1. Total Impervious Coverage shall not exceed 55%
2. Corner Lots with radius or chamfered R.O.W: Setback line at corner shall be the perpendicular intersection front Setback line and the side Setback line

TABLE 6E. BUILDING TYPES – COTTAGE (ALLEY LOADED)

SMARTCODE

Tuxedo Farms, Orange County, New York



BUILDING TYPE, USE, LOCATION

| | |
|---------------------|-------------------------|
| Building Type | Cottage (Alley Loaded) |
| Zones where allowed | T3-2, T4-1, T4-2, T4 NS |
| Building Use | Residential |

BUILDING CONFIGURATION

| | |
|-------------------------|--|
| Primary Building Height | 2.5 stories maximum including 85% maximum Habitable Attic. Floor-to-floor 11 ft maximum. |
| Outbuilding Height | 1.5 stories max., 30' to ridge max. |
| Building Placement | Edgeyard |
| Lot Dimension | 50 ft x 100 ft min. |
| Lot Coverage | 48% max |

e. SETBACKS - PRINCIPAL BUILDING

| | |
|-------------------------------|--|
| (e.1) Front Setback Principal | See Table 1 |
| (e.2) Front Setback Secondary | 10 ft min. At corner, same as front Setback of adjacent Lot. |
| (e.3) Side Setbacks | 7 ft min., 10 ft max. |
| (e.4) Rear Setback | 15 ft min. |
| Frontage Buildout (Principal) | 50% min, 60% max. |
| Frontage Buildout (Secondary) | 50% min, 90% max. |

f. OUTBUILDING CONFIGURATION (SEE SEC. 2.6 FOR GARAGE EXCEPTIONS)

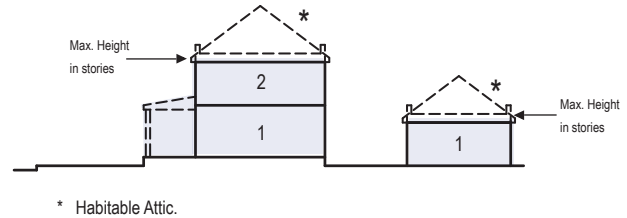
| | |
|---------------------|--------------|
| Maximum Dimension | 700 GFA max. |
| (f.1) Front Setback | In Layer 3 |
| (f.2) Side Setbacks | 0 ft min. |
| (f.3) Rear Setback | 6 ft min. |

MISCELLANEOUS

| | |
|------------------------|---|
| Terraces / Decks | Decks may be 15% max. of GSF; Terraces may be 15% max. of GSF; decks and Terraces combined may be no more than 20% of GSF; balconies or decks above primary living level may not protrude more than 9 ft from the building Facade. |
| Landscape | Paving in the rear yard shall not exceed 600 square feet. For additional requirements, see landscaping design guidelines. |
| Architectural Features | Porches up to 10ft deep may Encroach into the front principal and secondary Setbacks but may not Encroach into landscape or forested buffers. Bay windows may Encroach into the Setbacks up to 4ft but may not Encroach into landscape buffers. |

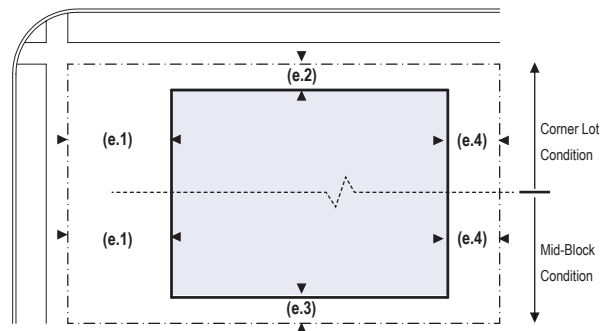
BUILDING CONFIGURATION

1. Height shall be measured as specified on Table 4.



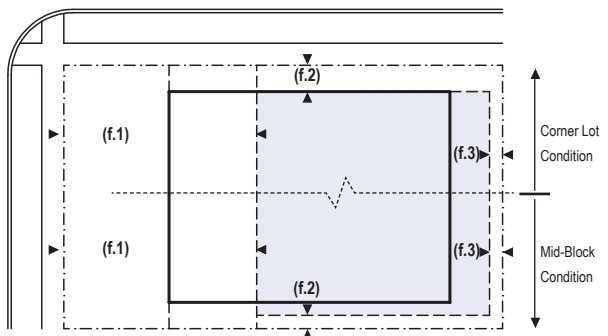
SETBACKS - PRINCIPAL BLDG

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot Lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot Lines as shown.



General Notes

- Total Impervious Coverage shall not exceed 55%
- Corner Lots with radius or chamfered R.O.W: Setback line at corner shall be the perpendicular intersection front Setback line and the side Setback line.

SMARTCODE

Tuxedo Farms, Orange County, New York

TABLE 6F. BUILDING TYPES – CARRIAGE



BUILDING TYPE, USE, LOCATION

| | |
|---------------------|-------------------------------|
| Building Type | Carriage House |
| Zones where allowed | T4-1 (Limit 20%), T4-2, T4 NS |
| Building Use | Residential |

BUILDING CONFIGURATION

| | |
|-------------------------|--|
| Primary Building Height | 2.5 stories maximum including 85% maximum Habitable Attic. Floor-to-floor 11 ft maximum. |
| Outbuilding Height | 1.5 stories max., 30' to ridge max. |
| Building Placement | sideyard |
| Lot Dimension | 40 ft x 100 ft min. |
| Lot Coverage | 60% max |

e. SETBACKS - PRINCIPAL BUILDING

| | |
|-------------------------------|--|
| (e.1) Front Setback Principal | See Table 1 |
| (e.2) Front Setback Secondary | 10 ft min. At corner, same as front Setback of adjacent Lot. |
| (e.3) Side Setbacks | 0 ft at party walls; at property line, 7 ft min., 15 ft max. |
| (e.4) Rear Setback | 15 ft min. |
| Frontage Buildout (Principal) | 50% min, 75% max. |
| Frontage Buildout (Secondary) | 40% min, 90% max. |

f. OUTBUILDING CONFIGURATION (SEE SEC. 2.6 FOR GARAGE EXCEPTIONS)

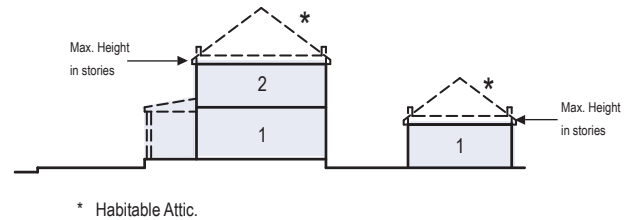
| | |
|---------------------|--------------|
| Maximum Dimension | 700 GFA max. |
| (f.1) Front Setback | In Layer 3 |
| (f.2) Side Setbacks | 0 ft min. |
| (f.3) Rear Setback | 6 ft min. |

MISCELLANEOUS

| | |
|------------------------|---|
| Terraces / Decks | Decks may be 15% max. of GSF; Terraces may be 15% max. of GSF; decks and Terraces combined may be no more than 20% of GSF; balconies or decks above primary living level may not protrude more than 8 ft from the building Facade. |
| Landscape | See landscaping design guidelines |
| Architectural Features | Porches up to 10ft deep may Encroach into the front principal and secondary Setbacks but may not Encroach into landscape or forested buffers. Bay windows may Encroach into the Setbacks up to 4ft but may not Encroach into landscape buffers. |

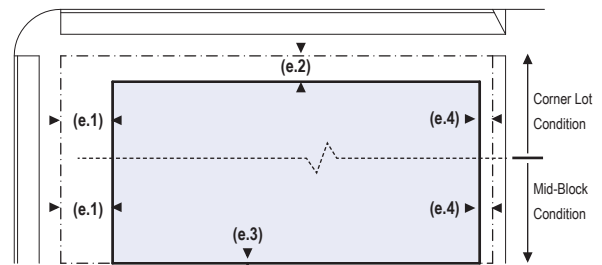
BUILDING CONFIGURATION

1. Height shall be measured as specified on Table 4.



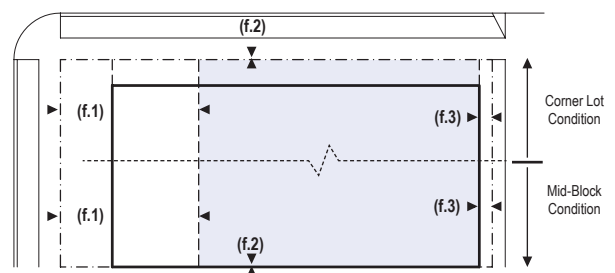
SETBACKS - PRINCIPAL BLDG

- The Facades and Elevations of Principal Buildings shall be distanced from the Lot Lines as shown.
- Facades shall be built along the Principal Frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot Lines as shown.



Note: When there is an alley, (f.3) is from the edge of pavement.

General Notes

- Total Impervious Coverage shall not exceed 80%
- Corner Lots with radius or chamfered R.O.W: Setback line at corner shall be the perpendicular intersection front Setback line and the side Setback line

TABLE 6G. BUILDING TYPES – TOWNHOUSE (COMMON)

SMARTCODE

Tuxedo Farms, Orange County, New York



BUILDING TYPE, USE, LOCATION

| | |
|---------------------|--|
| Building Type | Townhouse (Common) |
| Zones where allowed | T4-1 (Limit 20% of zone), T4-2, T4 NS, T5-1 |
| Building Use | Residential & additionally in T5-1 Mixed-Use; Residential, Office, Retail, Live/Work |

BUILDING CONFIGURATION

| | |
|-------------------------|--|
| Primary Building Height | See Table 1 for Building Height. Floor-to-floor 11 ft maximum. |
| Outbuilding Height | 1.5 stories max., 30' to ridge max. |
| Building Placement | rearyard or sideyard |
| Lot Dimension | 24 ft min., 30 ft. max. x 100 ft min. |
| Lot Coverage | 65% max |

e. SETBACKS - PRINCIPAL BUILDING

| | |
|-------------------------------|---|
| (e.1) Front Setback Principal | See Table 1 |
| (e.2) Front Setback Secondary | 5 ft min. At corner, same as front Setback of adjacent Lot. |
| (e.3) Side Setbacks | 0 ft at party walls; at property line, 8 ft max. |
| (e.4) Rear Setback | 4 ft min. |
| Frontage Buildout (Principal) | 65% min, 100% max. |
| Frontage Buildout (Secondary) | 150% min, 90% max. |

f. OUTBUILDING CONFIGURATION (SEE SEC. 2.6 FOR GARAGE EXCEPTIONS)

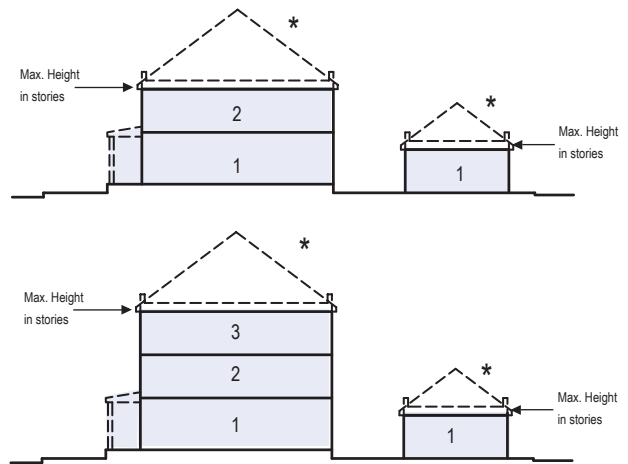
| | |
|---------------------|----------------|
| Maximum Dimension | 700 GFA max. |
| (f.1) Front Setback | not applicable |
| (f.2) Side Setbacks | 0 ft min. |
| (f.3) Rear Setback | 6 ft min. |

MISCELLANEOUS

| | |
|------------------------|---|
| Terraces / Decks | Decks may be 15% max. of GSF; Terraces may be 15% max. of GSF; decks and Terraces combined may be no more than 20% of GSF; balconies or decks above primary living level may not protrude more than 6 ft from the building Facade. |
| Landscape | See landscaping design guidelines |
| Architectural Features | Porches up to 10ft deep may Encroach into the front principal and secondary Setbacks but may not Encroach into landscape or forested buffers. Bay windows may Encroach into the Setbacks up to 4ft but may not Encroach into landscape buffers. |

BUILDING CONFIGURATION

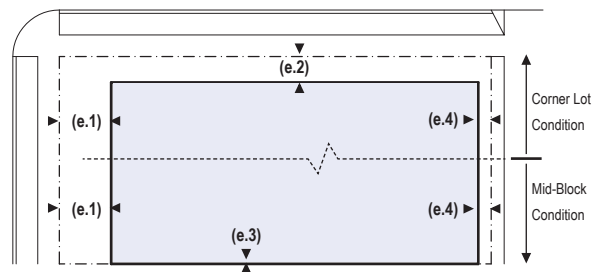
1. Height shall be measured to the eave or roof deck as specified on Table 4.



* Habitable Attic.

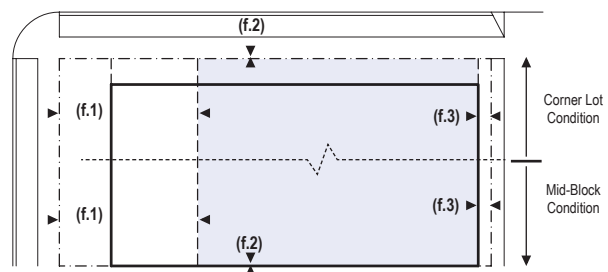
SETBACKS - PRINCIPAL BLDG

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot Lines as shown.
 2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot Lines as shown.



Note: When there is an alley, (f.3) is from the edge of pavement.

General Notes

1. Total Impervious Coverage shall not exceed 85%
2. Corner Lots with radius or chamfered R.O.W: Setback line at corner shall be the perpendicular intersection front Setback line and the side Setback line

SMARTCODE

TABLE 6H. BUILDING TYPES – TOWNHOUSE (TUCK-UNDER)

Tuxedo Farms, Orange County, New York



BUILDING TYPE, USE, LOCATION

| | |
|---------------------|--|
| Building Type | Townhouse (Tuck-Under) |
| Zones where allowed | T4-1 (Limit 20%), T4-2, T4 NS, T5-1, T5-2 |
| Building Use | Residential & additionally in T5-1, T5-2 Mixed-Use; Residential, Office, Retail, Live/Work |

BUILDING CONFIGURATION

| | |
|-------------------------|--|
| Primary Building Height | See Table 1 for Building Height. Floor-to-floor 11 ft maximum. |
| Outbuilding Height | n/a |
| Building Placement | rearyard or sideyard |
| Lot Dimension | 24 ft min., 30 ft max. x 70 ft min. |
| Lot Coverage | 70% max |

e. SETBACKS - PRINCIPAL BUILDING

| | |
|-------------------------------|---|
| (e.1) Front Setback Principal | See Table 1 |
| (e.2) Front Setback Secondary | 5 ft min. At corner, same as front Setback of adjacent Lot. |
| (e.3) Side Setbacks | 0 ft at party walls; at property line, 8 ft max. |
| (e.4) Rear Setback | 4 ft min. |
| Frontage Buildout (Principal) | 65% min, 100% max. |
| Frontage Buildout (Secondary) | 50% min, 72% max. |

f. OUTBUILDING CONFIGURATION (SEE SEC. 2.6 FOR GARAGE EXCEPTIONS)

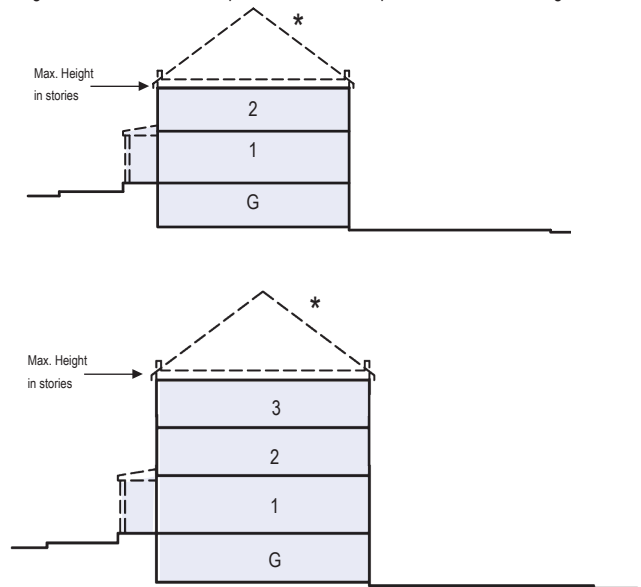
| | |
|---------------------|-----|
| Maximum Dimension | n/a |
| (f.1) Front Setback | n/a |
| (f.2) Side Setbacks | n/a |
| (f.3) Rear Setback | n/a |

MISCELLANEOUS

| | |
|------------------------|---|
| Terraces / Decks | Decks may be 15% max. of GSF; Terraces may be 15% max. of GSF; decks and Terraces combined may be no more than 20% of GSF; balconies or decks above primary living level may not protrude more than 6 ft from the building Facade. |
| Landscape | See landscaping design guidelines |
| Architectural Features | Porches up to 10ft deep may Encroach into the front principal and secondary Setbacks but may not Encroach into landscape or forested buffers. Bay windows may Encroach into the Setbacks up to 4ft but may not Encroach into landscape buffers. |

BUILDING CONFIGURATION

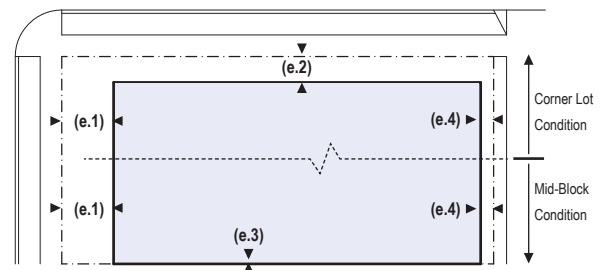
1. Height shall be measured as specified on Table 4 Special Hill Condition Diagrams



* Habitable Attic.

SETBACKS - PRINCIPAL BLDG

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot Lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



General Notes

1. Total Impervious Coverage shall not exceed 95%
2. Corner Lots with radius or chamfered R.O.W: Setback line at corner shall be the perpendicular intersection front Setback line and the side Setback line

TABLE 6I. BUILDING TYPES – MULTIFAMILY BUILDING

SMARTCODE

Tuxedo Farms, Orange County, New York



BUILDING TYPE, USE, LOCATION

| | |
|---------------------|----------------------|
| Building Type | Multifamily Building |
| Zones where allowed | T5-1, T5-2 |
| Building Use | Residential |

BUILDING CONFIGURATION

| | |
|-------------------------|---|
| Primary Building Height | 3.5 stories maximum including 70% maximum Habitable Attic. Parking level is permitted below primary level. Building Height is measured from primary pedestrian entrance. Maximum Height at Residential is 12 ft floor-to-floor. |
| Outbuilding Height | 1.5 stories max., 30' to ridge max. |
| Building Placement | rearyard, sideyard, or courtyard |
| Lot Dimension | varies |
| Lot Coverage | 40% min, 70% max. |

e. SETBACKS - PRINCIPAL BUILDING

| | |
|-------------------------------|--|
| (e.1) Front Setback Principal | See Table 1 |
| (e.2) Front Setback Secondary | 15 ft min. At corner, same as front Setback of adjacent Lot. |
| (e.3) Side Setbacks | 0 ft on one side & 20 ft min. on other side; or 10 ft min. each side |
| (e.4) Rear Setback | 20 ft min. |
| Frontage Buildout (Principal) | 60% min. |
| Frontage Buildout (Secondary) | 150% min, 90% max. |

f. OUTBUILDING CONFIGURATION (SEE SEC. 2.6 FOR GARAGE EXCEPTIONS)

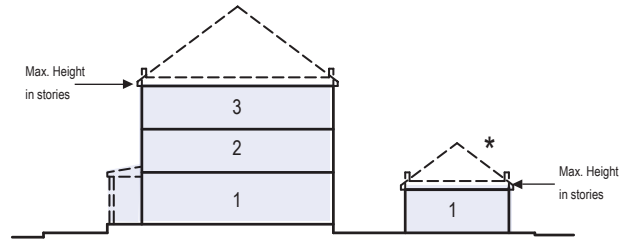
| | |
|---------------------|--------------|
| Maximum Dimension | 700 GFA max. |
| (f.1) Front Setback | In Layer 3 |
| (f.2) Side Setbacks | 0 ft min. |
| (f.3) Rear Setback | 10 ft min. |

MISCELLANEOUS

| | |
|------------------------|--|
| Terraces / Decks | Decks may be 15% max. of GSF; Terraces may be 15% max. of GSF; decks and Terraces combined may be no more than 20% of Lot; balconies or decks above primary living level may not protrude more than 6 ft from the building Facade. |
| Landscape | See landscaping design guidelines |
| Architectural Features | Bay windows may Encroach into the Setbacks up to 4ft but may not Encroach into landscape buffers or R.O.W. or where prohibited by building and life safety codes. |

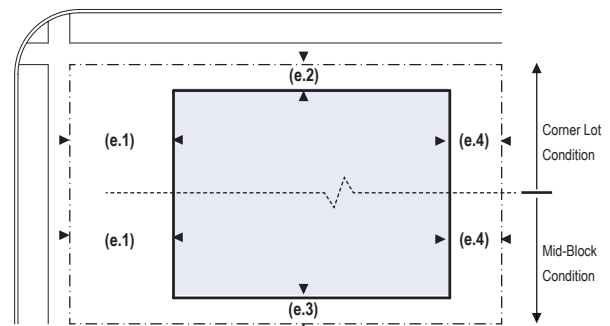
BUILDING CONFIGURATION

1. Height shall be measured as specified on Table 4.



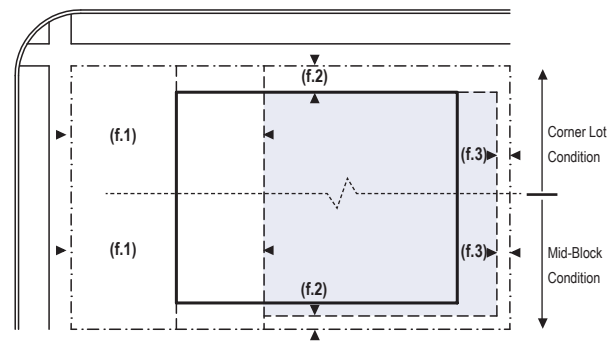
SETBACKS - PRINCIPAL BLDG

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot Lines as shown.
 2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



SETBACKS - OUTBUILDING

1. The Elevation of the Outbuilding shall be distanced from the Lot Lines as shown.



General Notes

- Total Impervious Coverage shall not exceed 90%
- Corner Lots with radius or chamfered R.O.W: Setback line at corner shall be the perpendicular intersection front Setback line and the side Setback line

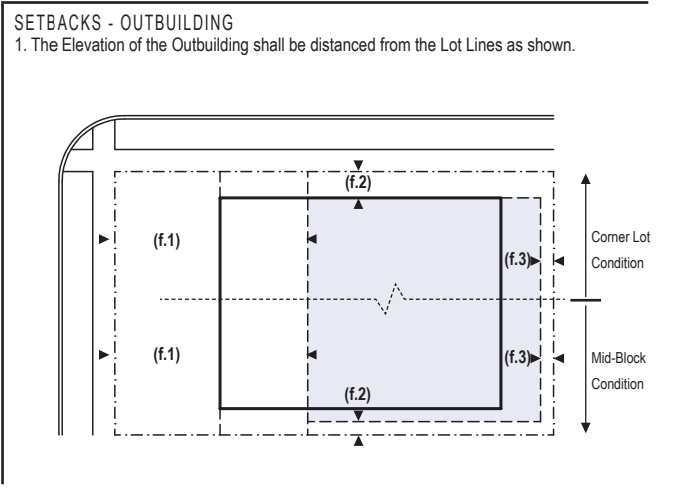
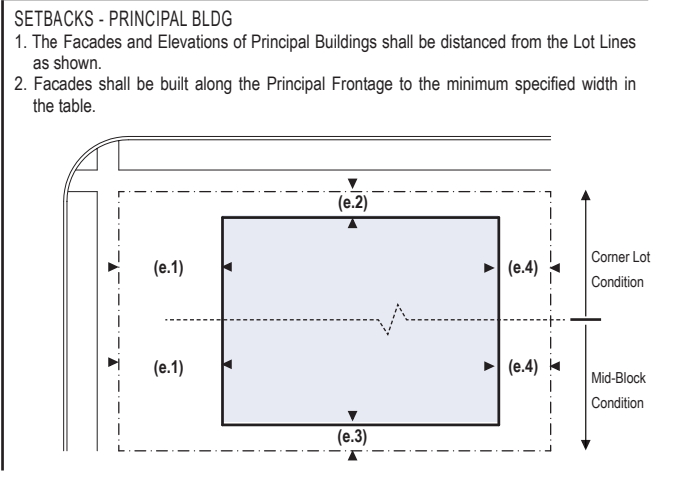
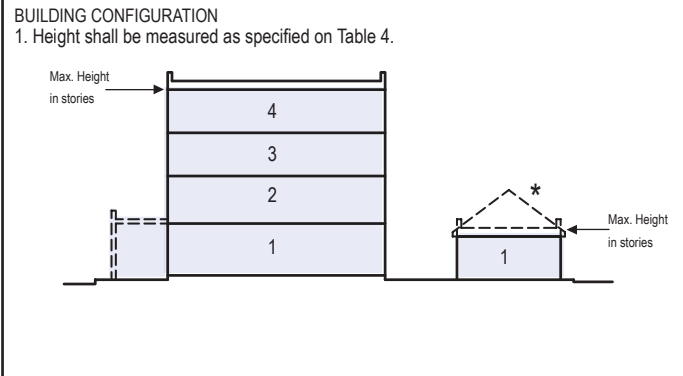
SMARTCODE

Tuxedo Farms, Orange County, New York

TABLE 6J. BUILDING TYPES – MIXED-USE BUILDING



| BUILDING TYPE, USE, LOCATION | |
|---|---|
| Building Type | Mixed-Use Building |
| Zones where allowed | T5-1, T5-2 |
| Building Use | Mixed-Use: Residential, Office, Retail |
| BUILDING CONFIGURATION | |
| Primary Building Height | 4 stories maximum no Habitable Attic or 3.5 stories maximum including 70% maximum Habitable Attic. Parking level is permitted below primary level. Building Height is measured from primary pedestrian entrance. Maximum First Floor Height at Retail is 20 ft floor-to-floor; maximum Height at Residential is 12 ft floor-to-floor. |
| Outbuilding Height | 1.5 stories max., 30' to ridge max. |
| Building Placement | rearyard, sideyard, or courtyard |
| Lot Dimension | varies |
| Lot Coverage | 40% min, 75% max. |
| e. SETBACKS - PRINCIPAL BUILDING | |
| (e.1) Front Setback Principal | See Table 1 |
| (e.2) Front Setback Secondary | 5 ft min, 15 ft max. at corner. |
| (e.3) Side Setbacks | 0 ft on one side & 30 ft max. on other side; or 15 ft max. each side |
| (e.4) Rear Setback | 20 ft min. |
| Frontage Buildout (Principal) | 75% min. |
| Frontage Buildout (Secondary) | 60% min |
| f. OUTBUILDING CONFIGURATION (SEE SEC. 2.6 FOR GARAGE EXCEPTIONS) | |
| Maximum Dimension | 700 GFA max. |
| (f.1) Front Setback | In Layer 3 |
| (f.2) Side Setbacks | 0 ft min. |
| (f.3) Rear Setback | 10 ft min. |
| MISCELLANEOUS | |
| Terraces / Decks | Decks or balconies shall protrude no more than 6 ft from the building face |
| Landscape | See landscaping design guidelines |
| Architectural Features | Bay windows may Encroach into the Setbacks up to 4ft but may not Encroach into landscape buffers or R.O.W. or where prohibited by building and life safety codes. |



- General Notes**
- Total Impervious Coverage shall not exceed 90%
 - Corner Lots with radius or chamfered R.O.W: Setback line at corner shall be the perpendicular intersection front Setback line and the side Setback line

TABLE 7. BUILDING BULK STANDARDS

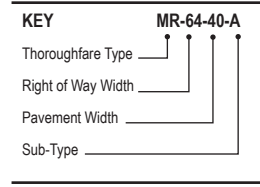
SMARTCODE

Tuxedo Farms, Orange County, New York

| Housing / Lot Type | Min Lot Size | Max FAR | Maximum Gross Floor Area (GFA) | Note | Minimum Gross Floor Area (GFA) |
|--|---------------|-------------|--------------------------------|-----------------------|--------------------------------|
| Townhouse (Tuck Under) | 1,680 | 1.19 | 2,000 | | 1,200 |
| | 2,100 | 1.10 | 2,300 | | 1,200 |
| Townhouse | 2,400 | 1.00 | 2,400 | | 1,200 |
| | 3,000 | 0.93 | 2,800 | Max Townhouse GFA | 1,200 |
| Carriage | 4,000 | 0.49 | 1,960 | | 1,750 |
| | 4,500 | 0.48 | 2,150 | Max Carriage GFA | 1,750 |
| Alley Loaded Cottage | 5,000 | 0.48 | 2,400 | | 2,000 |
| | 5,500 | 0.46 | 2,530 | | 2,000 |
| | 6,000 | 0.44 | 2,640 | Max Alley Cottage GFA | 2,000 |
| Cottage | 6,500 | 0.42 | 2,700 | | 2,000 |
| | 7,000 | 0.41 | 2,850 | | 2,000 |
| | 7,500 | 0.41 | 3,060 | Max Cottage GFA | 2,000 |
| Village | 8,000 | 0.41 | 3,300 | | 2,800 |
| | 9,000 | 0.39 | 3,520 | | 2,800 |
| | 10,000 | 0.37 | 3,720 | | 2,800 |
| | 11,000 | 0.35 | 3,900 | | 2,800 |
| | 12,000 | 0.34 | 4,060 | Max Village GFA | 2,800 |
| Manor | 12,500 | 0.34 | 4,200 | | 3,600 |
| | 13,500 | 0.33 | 4,400 | | 3,600 |
| | 14,500 | 0.32 | 4,590 | | 3,600 |
| | 15,500 | 0.31 | 4,770 | | 3,600 |
| | 16,500 | 0.30 | 4,940 | Max Manor GFA | 3,600 |
| Estate | 16,875 | 0.30 | 5,000 | | 4,600 |
| | 17,875 | 0.29 | 5,145 | | 4,600 |
| | 18,875 | 0.28 | 5,280 | | 4,600 |
| | 19,875 | 0.27 | 5,405 | | 4,600 |
| | 20,875 | 0.26 | 5,520 | | 4,600 |
| | 21,875 | 0.26 | 5,625 | | 4,600 |
| | 22,875 | 0.25 | 5,720 | | 4,600 |
| | 23,875 | 0.24 | 5,805 | | 4,600 |
| | 24,875 | 0.24 | 5,880 | | 4,600 |
| | 25,875 | 0.23 | 5,945 | | 4,600 |
| | 26,875 | 0.22 | 6,000 | | 4,600 |
| | or greater | | | | |
| Minimum GFA for Condominiums / Apartments | | | | | |
| 1 Bedroom / Studio / Loft | | | | | 750 |
| 2 Bedroom | | | | | 950 |
| 3 Bedroom | | | | | 1,350 |

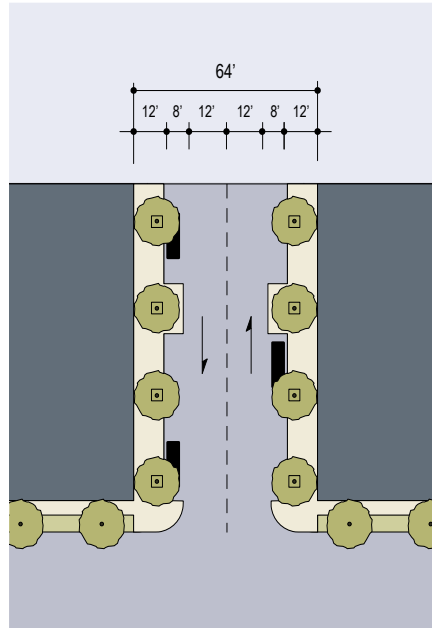
NOTES:

1. Subdivision/ site plans shall identify the housing / Lot type (cottage, carriage) being processed.
2. Nothing herein shall permit a Lot to exceed the maximum floor area established above for the intended housing type, however a Lot may be greater than the largest Lot size listed for that particular type. In this situation the maximum floor area will not increase.
Example: If a designated Village Lot has Lot area equal to 17,000 square feet, the maximum gross floor area of the proposed residence shall not be greater than 4,060 square feet.
3. For purposes of calculating the Gross Floor Area using the FAR - the unencumbered Lot area shall be calculated based on the proposed finished grading for the Lot. Wetlands, steep slopes (33 percent and greater) streams and floodplains that are part of the final grading of the Lot shall not be included as part of the minimum Lot area. Unencumbered Lot area is referred to as the "usable area."
4. Maximum Gross Floor Area (GFA) - All area within the exterior walls of a primary building, backbuilding and outbuilding on a Lot, exclusive of basements, attics, and garages in the basement.
5. A Cottage (Front Loaded) or Cottage (Alley Loaded) Lot may be permitted an additional gross floor area of up to 480 square feet, provided that the additional area is used exclusively for a garage, and further provided that the garage space shall be located no less than 65 feet from the front Lot line.

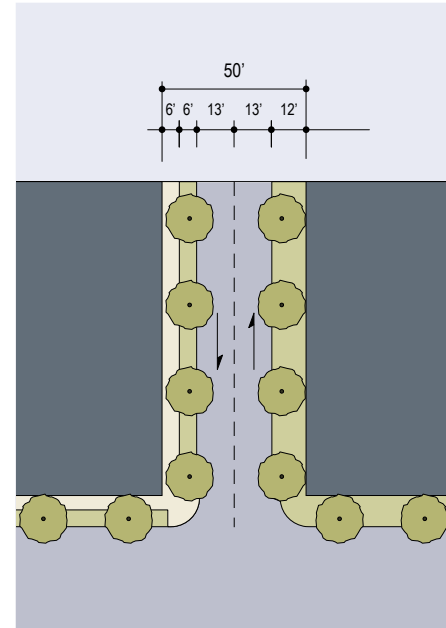


THOROUGHFARE TYPES

- Major Road: MR
- Collector Road: CR
- Local Road: LR
- Country Lane: CL
- Rear Alley: RA
- Emergency Access: EA



MR-64-40



MR-50-26

| | |
|-----------------------------|--|
| Thoroughfare Type | |
| Transect Zone Assignment | |
| Right-of-Way Width | |
| Pavement Width | |
| Paving Type | |
| Vertical Curve Design Speed | |
| Traffic Lanes | |
| Parking Lanes | |
| Horizontal Curve Radius | |
| Walkway Type | |
| Planter Type | |
| Curb Type | |
| Grades | |

| |
|--------------------------------------|
| Major Road |
| T4-2, T5-1, T5-2 |
| 64 feet |
| 40 feet |
| 24' asphalt, 16' pervious in parking |
| 30 MPH |
| 2 lanes, 12' wide |
| Both sides, Parallel |
| 300 feet minimum |
| Sidewalk both sides: 12 feet |
| Tree pits |
| 6" vertical |
| 1% to 10% |

| |
|--|
| Major Road |
| T1 |
| 50 feet |
| 26-28 feet |
| 26' Asphalt |
| 30 MPH |
| 2 lanes, 13' wide |
| None |
| 300 feet minimum |
| Sidewalk one side: 4' minimum (see General Note 6 below) |
| 6' tree belt |
| 4" splayed or 6" vertical |
| 1% to 10% |

Intersection Offset and Gradient:

Min. 200' between intersections

- Major Road gradient Max 3.5 % a Min. 50 ft from cartway of NYS Rt 17
- Major Road gradient Max 6% a Min. 50 ft from intersection centerline of Collector Road.
- Hold Major Road gradient through intersection with Local Road or Country Lane.

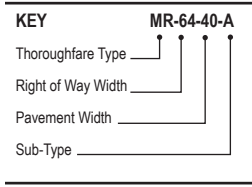
General Notes:

- Minimum Curb return radius at street intersections shall be 15 feet. Design shall demonstrate that emergency vehicles can maneuver through intersections within the cartway. Minimum R.O.W. radius at street corners shall be 15 ft.
- Minimum roadway intersection angle 60 degrees.
- Maximum cul-de-sac length 1200 ft.
- Sight visibility at intersections shall be designed in accordance with AASHTO Guidelines "A Policy on Geometric Design of Highways and Streets" for intersections with stop control.
- Sight stopping distance shall meet AASHTO Guidelines "A Policy on Geometric Design of Highways and Streets" based on Design Speeds of 30 mph for Major Road and 25 mph for Collector, Local and Country Roads.
- MR-50-26 only: Provide 6ft-wide Sidewalk on one side between school site and Commons; elsewhere provide 4ft-wide min. Sidewalk.

TABLE 8. THOROUGHFARE ASSEMBLIES

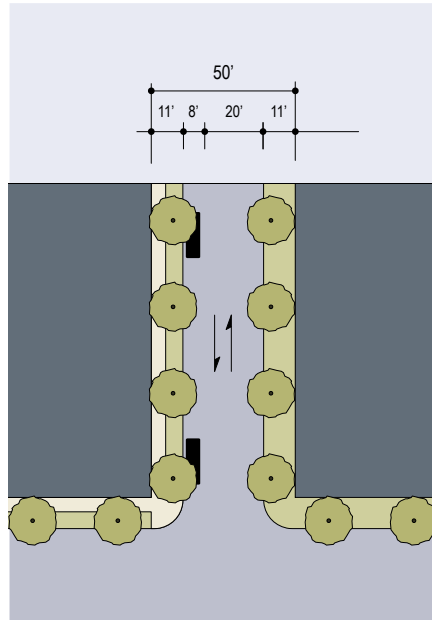
SMARTCODE

Tuxedo Farms, Orange County, New York



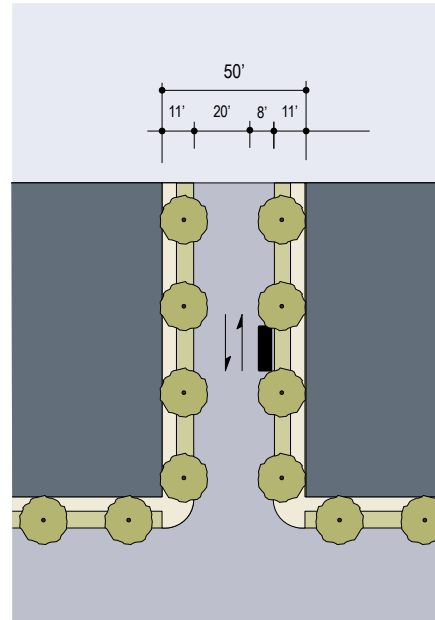
THOROUGHFARE TYPES

- Major Road: MR
- Collector Road: CR
- Local Road: LR
- Country Lane: CL
- Rear Alley: RA
- Emergency Access: EA



CR-50-28-A

| | |
|-----------------------------|-------------------------------|
| Thoroughfare Type | Collector Road |
| Transect Zone Assignment | T3 |
| Right-of-Way Width | 50 feet |
| Pavement Width | 28 feet |
| Paving Type | 28' Asphalt |
| Vertical Curve Design Speed | 25 MPH |
| Traffic Lanes | 2 lanes, 10' wide |
| Parking Lanes | One side only, Parallel |
| Horizontal Curve Radius | 150 feet minimum |
| Walkway Type | Sidewalk one side: 4' minimum |
| Planter Type | 6' tree belt |
| Curb Type | 6" vertical or 4" splayed |
| Grades | 1% to 12% |



CR-50-28-B

| | |
|-----------------------------|---------------------------------|
| Thoroughfare Type | Collector Road |
| Transect Zone Assignment | T3, T4 |
| Right-of-Way Width | 50 feet |
| Pavement Width | 28 feet |
| Paving Type | 28' Asphalt |
| Vertical Curve Design Speed | 25 MPH |
| Traffic Lanes | 2 lanes, 10' wide |
| Parking Lanes | One side only, Parallel |
| Horizontal Curve Radius | 150 feet minimum |
| Walkway Type | Sidewalk both sides: 4' minimum |
| Planter Type | 6' tree belt |
| Curb Type | 6" vertical or 4" splayed |
| Grades | 1% to 12% |

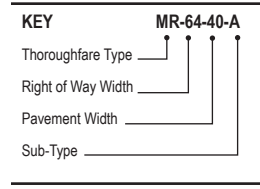
| | |
|-----------------------------|--|
| Thoroughfare Type | |
| Transect Zone Assignment | |
| Right-of-Way Width | |
| Pavement Width | |
| Paving Type | |
| Vertical Curve Design Speed | |
| Traffic Lanes | |
| Parking Lanes | |
| Horizontal Curve Radius | |
| Walkway Type | |
| Planter Type | |
| Curb Type | |
| Grades | |

Intersection Offset and Gradient:

- Min. 200' between intersections
- 1. When Collector Road is minor leg of the intersection, Max 2% for Min 50 ft from cartway of main thru road
- 2. Where Collector Roads intersect, Max. gradient of main thru Collector Road 6% for a Min. 50 ft from intersection centerline.
- 3. Collector Road gradient Max 12% through intersection with Local Road or Country Lane.

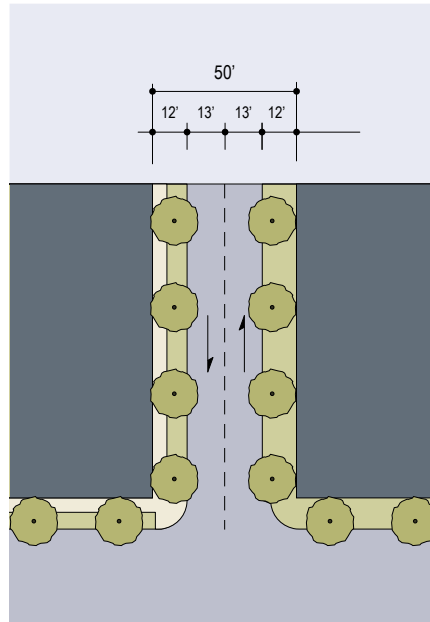
General Notes:

1. Minimum Curb return radius at street intersections shall be 15 feet. Design shall demonstrate that emergency vehicles can maneuver through intersections within the cartway. Minimum R.O.W. radius at street corners shall be 15 ft.
2. Minimum roadway intersection angle 60 degrees
3. Maximum cul-de-sac length 1200 ft
4. Sight visibility at intersections shall be designed in accordance with AASHTO Guidelines "A Policy on Geometric Design of Highways and Streets" for intersections with stop control.
5. Sight stopping distance shall meet AASHTO Guidelines "A Policy on Geometric Design of Highways and Streets" based on Design Speeds of 30 mph for Major Road and 25 mph for Collector, Local and Country Roads.



THOROUGHFARE TYPES

| | |
|-------------------|----|
| Major Road: | MR |
| Collector Road: | CR |
| Local Road: | LR |
| Country Lane: | CL |
| Rear Alley: | RA |
| Emergency Access: | EA |



CR-50-26

| | |
|-----------------------------|-------------------------------|
| Thoroughfare Type | Collector Road |
| Transect Zone Assignment | T1 |
| Right-of-Way Width | 50 feet |
| Pavement Width | 26 feet |
| Paving Type | 26' asphalt |
| Vertical Curve Design Speed | 25 MPH |
| Traffic Lanes | 2 lanes, 13' wide |
| Parking Lanes | None |
| Horizontal Curve Radius | 150 feet minimum |
| Walkway Type | Sidewalk one side: 4' minimum |
| Planter Type | 6' tree belt |
| Curb Type | 6" vertical or 4" splayed |
| Grades | 1% to 12% |

Intersection Offset and Gradient:

Min. 200' between intersections

1. When Collector Road is minor leg of the intersection, Max 2% for Min 50 ft from cartway of main thru road
2. Where Collector Roads intersect, Max. gradient of main thru Collector Road 6% for a Min. 50 ft from intersection centerline.
3. Collector Road gradient Max 12% through intersection with Local Road or Country Lane.

General Notes:

1. Minimum Curb return radius at street intersections shall be 15 feet. Design shall demonstrate that emergency vehicles can maneuver through intersections within the cartway. Minimum R.O.W. radius at street corners shall be 15 ft.
2. Minimum roadway intersection angle 60 degrees
3. Maximum cul-de-sac length 1200 ft
4. Sight visibility at intersections shall be designed in accordance with AASHTO Guidelines "A Policy on Geometric Design of Highways and Streets" for intersections with stop control.
5. Sight stopping distance shall meet AASHTO Guidelines "A Policy on Geometric Design of Highways and Streets" based on Design Speeds of 30 mph for Major Road and 25 mph for Collector, Local and Country Roads.

TABLE 8. THOROUGHFARE ASSEMBLIES

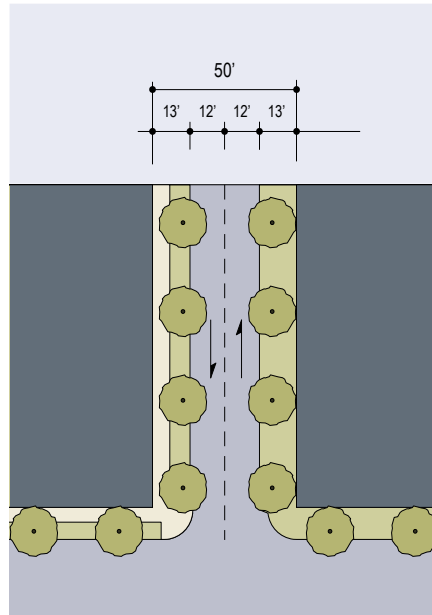
SMARTCODE

Tuxedo Farms, Orange County, New York

| KEY | |
|--------------------|------------|
| Thoroughfare Type | MR-64-40-A |
| Right of Way Width | |
| Pavement Width | |
| Sub-Type | |

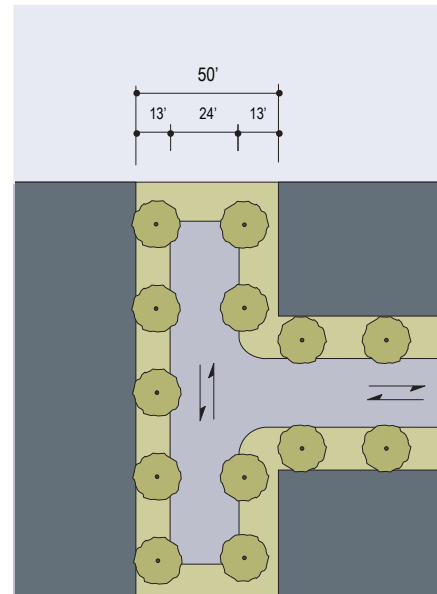
| THOROUGHFARE TYPES | |
|--------------------|----|
| Major Road: | MR |
| Collector Road: | CR |
| Local Road: | LR |
| Country Lane: | CL |
| Rear Alley: | RA |
| Emergency Access: | EA |

| | |
|-----------------------------|--|
| Thoroughfare Type | |
| Transect Zone Assignment | |
| Right-of-Way Width | |
| Pavement Width | |
| Paving Type | |
| Vertical Curve Design Speed | |
| Traffic Lanes | |
| Parking Lanes | |
| Horizontal Curve Radius | |
| Walkway Type | |
| Planter Type | |
| Curb Type | |
| Grades | |



LR-50-24

| | |
|---|--|
| Local Road | |
| T3-1, T3-2, T4-1, T4-2 | |
| 50 feet | |
| 24 feet | |
| 24' asphalt | |
| 25 MPH | |
| 2 lanes, 12' wide | |
| None | |
| 100 feet minimum | |
| Sidewalk one side: 6' minimum | |
| 6' tree belt | |
| 6" vertical or 4" splayed (Public), 4" vertical (Private) | |
| 1% to 14% | |



LR-50-24H

| | |
|--|--|
| Local Road | |
| T3 | |
| 50 feet | |
| 24 feet | |
| 24' asphalt | |
| 5 MPH | |
| 2 lanes, 12' wide | |
| None | |
| 100 feet minimum | |
| None | |
| Consistent with connecting Thoroughfare type | |
| 4" vertical | |
| 1% to 10% | |

Intersection Offset and Gradient:

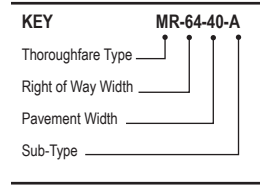
Min. 200' between intersections on Major or Collector Road

Min. 150' between intersections on Local Road or Country Lane

- When Local Road is minor leg of the intersection, Max 5% for Min 50 ft from cartway of main through street
- Where Local Road and Country Lanes intersect, the Max. gradient of the main through street shall be 14%

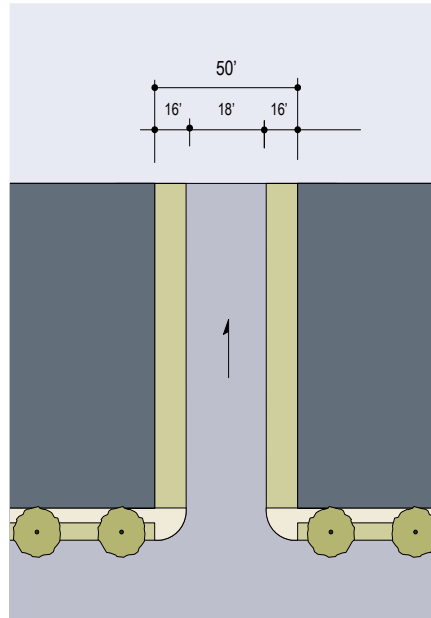
General Notes:

- Minimum Curb return radius at street intersections shall be 15 feet. Design shall demonstrate that emergency vehicles can maneuver through intersections within the cartway. Minimum R.O.W. radius at street corners shall be 15 ft.
- Minimum roadway intersection angle 60 degrees
- Maximum cul-de-sac length 1200 ft except Winding Hill Drive which may be up to 1975 ft.
- Sight visibility at intersections shall be designed in accordance with AASHTO Guidelines "A Policy on Geometric Design of Highways and Streets" for intersections with stop control.
- Sight stopping distance shall meet AASHTO Guidelines "A Policy on Geometric Design of Highways and Streets" based on Design Speeds of 30 mph for Major Road and 25 mph for Collector, Local and Country Roads.



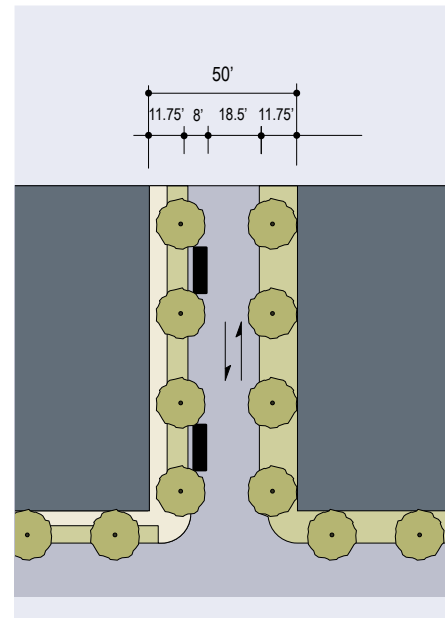
THOROUGHFARE TYPES

| | |
|-------------------|----|
| Major Road: | MR |
| Collector Road: | CR |
| Local Road: | LR |
| Country Lane: | CL |
| Rear Alley: | RA |
| Emergency Access: | EA |



LR-50-18

| | |
|-----------------------------|-------------------|
| Thoroughfare Type | Local Road |
| Transect Zone Assignment | T3, T4 |
| Right-of-Way Width | 50 feet |
| Pavement Width | 18 feet |
| Paving Type | 18' asphalt |
| Vertical Curve Design Speed | 25 MPH |
| Traffic Lanes | One-way, 18' wide |
| Parking Lanes | None |
| Horizontal Curve Radius | 100 feet minimum |
| Walkway Type | None |
| Planter Type | None |
| Curb Type | 4" vertical |
| Grades | 1% to 14% |



LR-50-26.5

| | |
|-----------------------------|---|
| Thoroughfare Type | Local Road |
| Transect Zone Assignment | T3, T4 |
| Right-of-Way Width | 50 feet |
| Pavement Width | 26.5 feet |
| Paving Type | 26.5' asphalt |
| Vertical Curve Design Speed | 25 MPH |
| Traffic Lanes | 2 lanes, 9.25' wide |
| Parking Lanes | One side only, Parallel |
| Horizontal Curve Radius | 100 feet minimum |
| Walkway Type | Sidewalk one side: 4' minimum |
| Planter Type | 6' tree belts |
| Curb Type | 6" vertical or 4" splayed (Public), 4" vertical (Private) |
| Grades | 1% to 14% |

| | |
|-----------------------------|--|
| Thoroughfare Type | |
| Transect Zone Assignment | |
| Right-of-Way Width | |
| Pavement Width | |
| Paving Type | |
| Vertical Curve Design Speed | |
| Traffic Lanes | |
| Parking Lanes | |
| Horizontal Curve Radius | |
| Walkway Type | |
| Planter Type | |
| Curb Type | |
| Grades | |

Intersection Offset and Gradient:

Min. 200' between intersections on Major or Collector Road

Min. 150' between intersections on Local Road or Country Lane

1. When Local Road is minor leg of the intersection, Max 5% for Min 50 ft from cartway of main through street
2. Where Local Road and Country Lanes intersect, the Max. gradient of the main through street shall be 14%

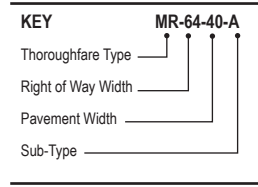
General Notes:

1. Minimum Curb return radius at street intersections shall be 15 feet. Design shall demonstrate that emergency vehicles can maneuver through intersections within the cartway. Minimum R.O.W. radius at street corners shall be 15 ft.
2. Minimum roadway intersection angle 60 degrees
3. Maximum cul-de-sac length 1200 ft except Vernon Road which may be up to 1900 ft.
4. Sight visibility at intersections shall be designed in accordance with AASHTO Guidelines "A Policy on Geometric Design of Highways and Streets" for intersections with stop control.
5. Sight stopping distance shall meet AASHTO Guidelines "A Policy on Geometric Design of Highways and Streets" based on Design Speeds of 30 mph for Major Road and 25 mph for Collector, Local and Country Roads.
6. In T4 NS, LR-50-26.5 has a Sidewalk on one side with 6' tree pits.

TABLE 8. THOROUGHFARE ASSEMBLIES

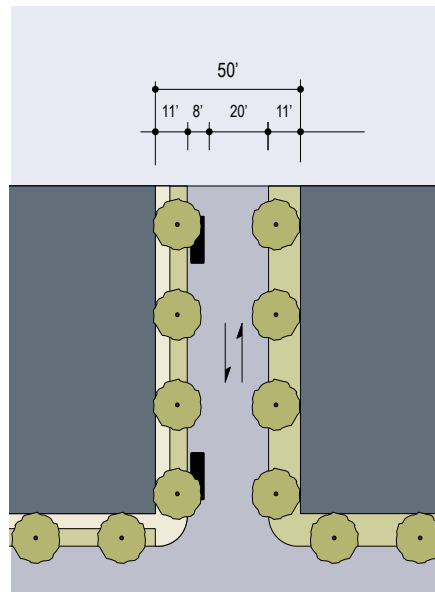
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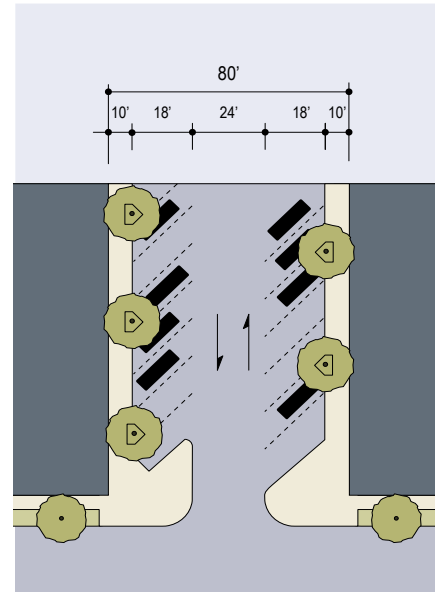
THOROUGHFARE TYPES

- Major Road: MR
- Collector Road: CR
- Local Road: LR
- Country Lane: CL
- Rear Alley: RA
- Emergency Access: EA



LR-50-28

| | |
|-----------------------------|-------------------------------|
| Thoroughfare Type | Local Road |
| Transect Zone Assignment | T5 |
| Right-of-Way Width | 50 feet |
| Pavement Width | 28 feet |
| Paving Type | 28' asphalt |
| Vertical Curve Design Speed | 25 MPH |
| Traffic Lanes | 2 lanes, 10' wide |
| Parking Lanes | One side only, Parallel |
| Horizontal Curve Radius | 100 feet minimum |
| Walkway Type | Sidewalk one side: 4' minimum |
| Planter Type | 6' tree belts |
| Curb Type | 4" vertical |
| Grades | 1% to 14% |



LR-80-60

| | |
|-----------------------------|--------------------------------------|
| Thoroughfare Type | Local Road |
| Transect Zone Assignment | T5 |
| Right-of-Way Width | 80 feet |
| Pavement Width | 60 feet |
| Paving Type | 24' asphalt, 40' pervious in parking |
| Vertical Curve Design Speed | 25 MPH |
| Traffic Lanes | 2 lanes, 12' wide |
| Parking Lanes | 18' 60-degree parking, both sides |
| Horizontal Curve Radius | 100 feet minimum |
| Walkway Type | Sidewalk both sides, 10' |
| Planter Type | Tree pits |
| Curb Type | 4" vertical |
| Grades | 1% to 6% |

| | |
|-----------------------------|--|
| Thoroughfare Type | |
| Transect Zone Assignment | |
| Right-of-Way Width | |
| Pavement Width | |
| Paving Type | |
| Vertical Curve Design Speed | |
| Traffic Lanes | |
| Parking Lanes | |
| Horizontal Curve Radius | |
| Walkway Type | |
| Planter Type | |
| Curb Type | |
| Grades | |

Intersection Offset and Gradient:

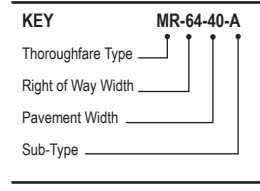
Min. 200' between intersections on Major or Collector Road

Min. 150' between intersections on Local Road or Country Lane

- When Local Road is minor leg of the intersection, Max 5% for Min 50 ft from cartway of main through street
- Where Local Road and Country Lanes intersect, the Max. gradient of the main through street shall be 14%

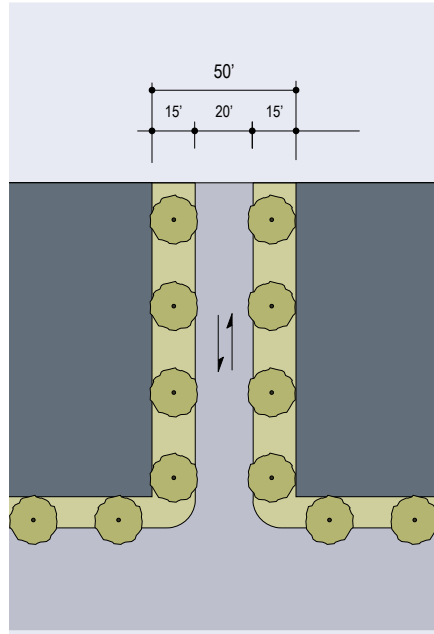
General Notes:

- Minimum Curb return radius at street intersections shall be 15 feet. Design shall demonstrate that emergency vehicles can maneuver through intersections within the cartway. Minimum R.O.W. radius at street corners shall be 15 ft.
- Minimum roadway intersection angle 60 degrees
- Maximum cul-de-sac length 1200 ft
- Sight visibility at intersections shall be designed in accordance with AASHTO Guidelines "A Policy on Geometric Design of Highways and Streets" for intersections with stop control.
- Sight stopping distance shall meet AASHTO Guidelines "A Policy on Geometric Design of Highways and Streets" based on Design Speeds of 30 mph for Major Road and 25 mph for Collector, Local and Country Roads.



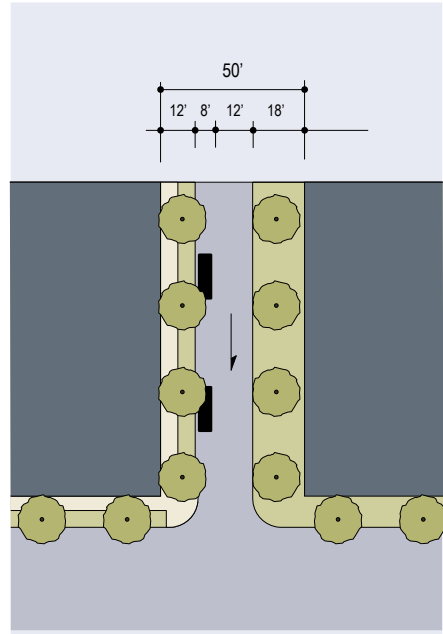
THOROUGHFARE TYPES

| | |
|-------------------|----|
| Major Road: | MR |
| Collector Road: | CR |
| Local Road: | LR |
| Country Lane: | CL |
| Rear Alley: | RA |
| Emergency Access: | EA |



CL-50-20-A

| | |
|-----------------------------|-------------------|
| Thoroughfare Type | Country Lane |
| Transect Zone Assignment | T1, T3, T4 |
| Right-of-Way Width | 50 feet |
| Pavement Width | 20 feet |
| Paving Type | 20' asphalt |
| Vertical Curve Design Speed | 25 MPH |
| Traffic Lanes | 2 lanes, 10' wide |
| Parking Lanes | None |
| Horizontal Curve Radius | 100 feet minimum |
| Walkway Type | None |
| Planter Type | 6' tree belt |
| Curb Type | 4" vertical |
| Grades | 1% to 14% |



CL-50-20-B

| | |
|-----------------------------|-------------------------------|
| Thoroughfare Type | Country Lane |
| Transect Zone Assignment | T3, T4 |
| Right-of-Way Width | 50 feet |
| Pavement Width | 20 feet |
| Paving Type | 20' asphalt |
| Vertical Curve Design Speed | 25 MPH |
| Traffic Lanes | One-way, 12' wide |
| Parking Lanes | One side only, Parallel |
| Horizontal Curve Radius | 100 feet minimum |
| Walkway Type | Sidewalk one side: 4' minimum |
| Planter Type | 6' tree belt |
| Curb Type | 4" vertical |
| Grades | 1% to 14% |

| | |
|-----------------------------|--|
| Thoroughfare Type | |
| Transect Zone Assignment | |
| Right-of-Way Width | |
| Pavement Width | |
| Paving Type | |
| Vertical Curve Design Speed | |
| Traffic Lanes | |
| Parking Lanes | |
| Horizontal Curve Radius | |
| Walkway Type | |
| Planter Type | |
| Curb Type | |
| Grades | |

Intersection Offset and Gradient:

Min. 200' between intersections on Major or Collector Road

Min. 150' between intersections on Local Road or Country Lane

1. When Country Lane is minor leg of the intersection, Max 5% for Min 50 ft from cartway of main through street
2. When Local Road and Country Lanes intersect, the Max. gradient of the main through street shall be 14%

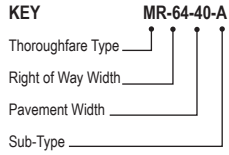
General Notes:

1. Minimum Curb return radius at street intersections shall be 15 feet. Design shall demonstrate that emergency vehicles can maneuver through intersections within the cartway. Minimum R.O.W. radius at street corners shall be 15 ft.
2. Minimum roadway intersection angle 60 degrees
3. Maximum cul-de-sac length 1200 ft
4. Sight visibility at intersections shall be designed in accordance with AASHTO Guidelines "A Policy on Geometric Design of Highways and Streets" for intersections with stop control.
5. Sight stopping distance shall meet AASHTO Guidelines "A Policy on Geometric Design of Highways and Streets" based on Design Speeds of 30 mph for Major Road and 25 mph for Collector, Local and Country Roads.

TABLE 8. THOROUGHFARE ASSEMBLIES

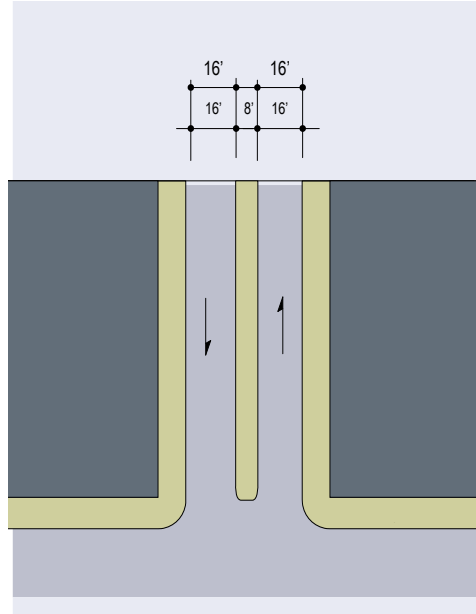
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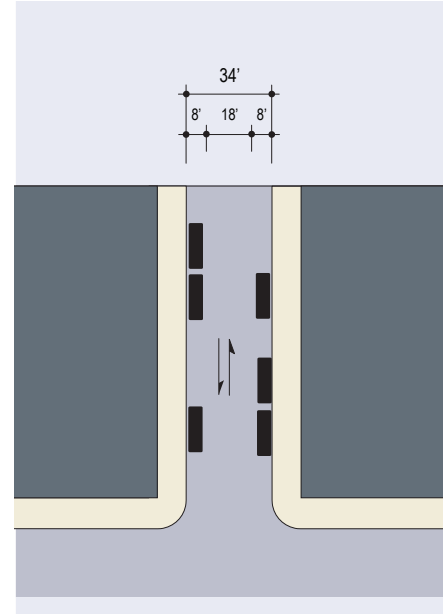


THOROUGHFARE TYPES

| | |
|-------------------|----|
| Major Road: | MR |
| Collector Road: | CR |
| Local Road: | LR |
| Country Lane: | CL |
| Rear Alley: | RA |
| Emergency Access: | EA |



CL-60-16



CL-34-34

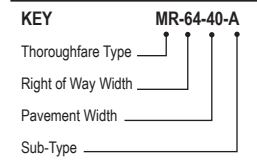
| | |
|-----------------------------|---------------------------|
| Thoroughfare Type | Country Lane |
| Transect Zone Assignment | T1, T3-1 |
| Right-of-Way Width | 60 feet R.O.W. |
| Pavement Width | 32 feet |
| Paving Type | 32' asphalt |
| Vertical Curve Design Speed | 25 MPH |
| Traffic Lanes | 2 lanes divided, 16' wide |
| Parking Lanes | None |
| Horizontal Curve Radius | 100 feet minimum |
| Walkway Type | None |
| Planter Type | 3' grass |
| Curb Type | 4" vertical |
| Grades | 1% to 14% |

| | |
|-----------------------------|------------------------|
| Thoroughfare Type | Country Lane |
| Transect Zone Assignment | T5 |
| Right-of-Way Width | 34 feet private R.O.W. |
| Pavement Width | 34 feet |
| Paving Type | 34' asphalt |
| Vertical Curve Design Speed | 15 MPH |
| Traffic Lanes | 2 lanes, 9' wide |
| Parking Lanes | Both sides, Parallel |
| Horizontal Curve Radius | 60 feet minimum |
| Walkway Type | None |
| Planter Type | None |
| Curb Type | 4" vertical |
| Grades | 1% to 10% |

General Notes:

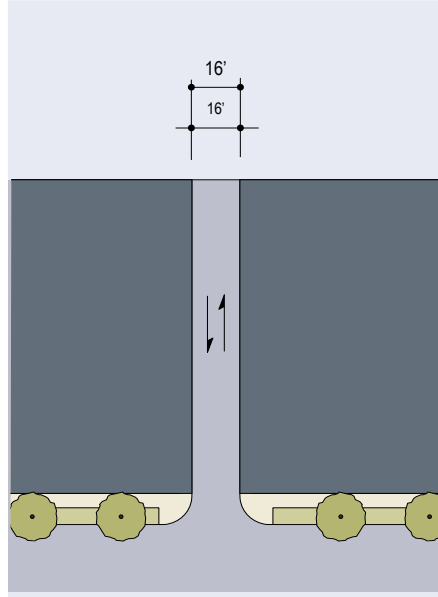
1. Minimum Curb return radius at street intersections shall be 15 feet. Design shall demonstrate that emergency vehicles can maneuver through intersections within the cartway. Minimum R.O.W. radius at street corners shall be 15 ft.
2. Minimum roadway intersection angle 60 degrees.
3. Maximum cul-de-sac length 1200 ft.
4. Sight visibility at intersections shall be designed in accordance with AASHTO Guidelines "A Policy on Geometric Design of Highways and Streets" for intersections with stop control.
5. Sight stopping distance shall meet AASHTO Guidelines "A Policy on Geometric Design of Highways and Streets" based on Design Speeds of 30 mph for Major Road and 25 mph for Collector, Local and Country Roads.

Tuxedo Farms, Orange County, New York



THOROUGHFARE TYPES

| | |
|-------------------|----|
| Major Road: | MR |
| Collector Road: | CR |
| Local Road: | LR |
| Country Lane: | CL |
| Rear Alley: | RA |
| Emergency Access: | EA |
| Private Road: | PR |



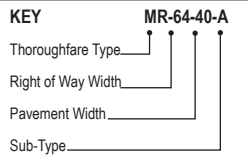
RA-16-16

| | |
|-----------------------------|---|
| Thoroughfare Type | Rear Alley |
| Transect Zone Assignment | T4, T5 |
| Right-of-Way Width | None (16 feet easement) |
| Pavement Width | 16 feet |
| Paving Type | Asphalt reverse crown - Pervious trench in center where <6% |
| Vertical Curve Design Speed | 15 MPH |
| Traffic Lanes | 2 lanes, 8' wide |
| Parking Lanes | None |
| Horizontal Curve Radius | 25 feet minimum |
| Walkway Type | None |
| Planter Type | None |
| Curb Type | None |
| Grades | 1% to 14% |

TABLE 8. THOROUGHFARE ASSEMBLIES

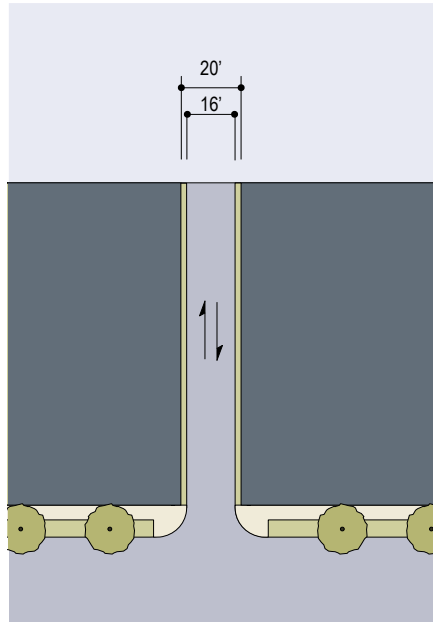
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THOROUGHFARE TYPES

| | |
|-------------------|----|
| Major Road: | MR |
| Collector Road: | CR |
| Local Road: | LR |
| Country Lane: | CL |
| Rear Alley: | RA |
| Emergency Access: | EA |
| Private Road: | PR |




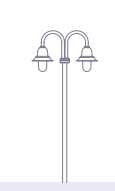



EA-20-16

| | |
|-----------------------------|-------------------------------|
| Thoroughfare Type | Emergency Access |
| Transect Zone Assignment | T1, T2, T3, T4, T5 |
| Right-of-Way Width | None (20 feet Easement) |
| Pavement Width | 16 feet minimum |
| Paving Type | Asphalt or pervious where <6% |
| Vertical Curve Design Speed | 15 MPH |
| Traffic Lanes | N/A |
| Parking Lanes | None |
| Horizontal Curve Radius | See Note 1. below |
| Walkway Type | None |
| Planter Type | None |
| Curb Type | None |
| Grades | See Note 1. below |

General Note:

1. Provide maneuvering for emergency vehicles.

TABLE 9: Public Lighting. Lighting varies in brightness and also in the character of the fixture according to the Transect. The table shows five common types of streetlight fixtures. All fixtures shall be Dark Sky compatible.

| | T3-1 | T3-2 | T4-1 | T4-2 | T5-1 | T5-2 | PL * | OS** | Specifications |
|---|------|------|------|------|------|------|------|------|---|
| <p>Roadway</p>  | ■ | ■ | ■ | ■ | | | | | <p>Fixture Height shall be 21' max. Fixture shall be ceramic metal halide source with wattages between 70 and 100 watts. Mean lamp lumens shall be between 4,000 and 7,500 lumens. Fixture shall be cut off by IESNA standards. Fixture shall be used for lighting on Collector Roadways only. A Double headed fixture shall be used at entries only, all other locations shall be single head.</p> |
| <p>Mid Scale - 2 arm</p>  | | | | | | | ■ | | <p>Fixture has 2 heads. Overall fixture height shall be 17' max. Fixture shall be ceramic metal halide source with wattages between 50 and 150 watts. Mean lamp lumens shall be between 2,500 and 12,500 lumens. Fixture shall be cut off by IESNA standards. Fixture shall be used in Parking Lots only.</p> |
| <p>Mid Scale</p>  | ■ | ■ | ■ | ■ | | | ■ | | <p>Fixture height shall be 17' max. Fixture wattage shall be ceramic metal halide source with wattages between 50 and 150 watts. Mean lamp lumens shall be between 2,500 and 12,500 lumens. Fixture shall be at decision-making points and curves in the road only on all roads except Collector Roadways. Fixture shall be cut off by IESNA standards. Fixture shall have a detailed/ decorative pole and base.</p> |
| <p>Pedestrian Scale</p>  | | | | ■ | ■ | ■ | | ■ | <p>Fixture height shall be 12' max. Fixture shall be ceramic metal halide source between 39 and 100 watts. Mean lamp lumens shall be between 2,200 and 7,500 lumens. Fixture spacing shall be between 25 and 50 feet on center. Fixture shall be cut off by IESNA standards. Fixture shall be used in Parks, Greens and Plazas.</p> |
| <p>Bollard</p>  | | | | | | | ■ | ■ | <p>Fixture height shall be between 36" and 48". Fixture shall be ceramic metal halide, compact fluorescent, or LED source with wattages between 20 and 100 watts. Mean lamp lumens shall be between 700 and 7,500 lumens. Fixture shall be full cut off by IESNA standards. Fixture shall be used in Parks and Greens only.</p> |

PL*: Parking Lots - OS**: Parks, Greens, Open Space

NOTES:

1. For all roadways within T3-1, T3-2 and T4-1, lighting levels shall not exceed 1.0 fc, average maintained.
2. For all roadways within, T4-2, T4 NS, T5-1 and T5-2, lighting levels shall not exceed 1.2 fc, average maintained.
3. For all Parks with provisions for public use, lighting levels shall not exceed 1.0 fc, average maintained.
4. For all pathways with public use, lighting levels shall not exceed 1.0 fc, average maintained.
5. For all public Parking Areas within these Transect Zones, lighting levels shall have a minimum of 0.2 fc horizontal for security.
 In addition, the maximum to minimum uniformity ratio shall fall within 15:1. This applies to Parking Lots, not to street parking.
6. All light fixtures on poles shall meet the definition of "Cutoff" fixtures per IESNA recommendations.
7. Regulations pertaining to building and private Lots lighting are included in the Landscape Design Guidelines.
8. All efforts should be made during final design to minimize the visibility of the lighting from adjacent neighborhoods.

TABLE 9. PUBLIC LIGHTING

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TABLE 9: Public Lighting. Lighting varies in brightness and also in the character of the fixture according to the Transect. The table shows six common types of landscape, step, sign, and accent light fixtures. Lower wattage bulbs of equal lumens may be substituted. All fixtures shall be Dark Sky compatible.

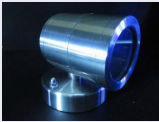












| | T3-1 | T3-2 | T4-1 | T4-2 | T5-1 | T5-2 | Specifications |
|--|------|------|------|------|------|------|---|
| Landscape Light  | ▪ | ▪ | ▪ | ▪ | ▪ | ▪ | Fixture shall be incandescent, LED or ceramic metal halide with wattages between 20 and 150 watts. Incandescent / LED mean lamp lumens shall be between 200 and 3,000 lumens. Ceramic metal halide mean lamp lumens shall be between 600 and 12,500 lumens. Fixture shall be used in Parks, Greens, and civic areas. |
| Landscape Light  | | | | ▪ | ▪ | ▪ | Fixture shall be incandescent, LED or ceramic metal halide source with wattages between 10 and 40 watts. Incandescent / LED mean lamp lumens shall be between 100 and 1,000 lumens. Ceramic metal halide mean lamp lumens shall be between 1,000 and 2,700 lumens. Fixture shall be used in Parks, Greens, and civic areas. |
| Step Light  | ▪ | ▪ | ▪ | ▪ | ▪ | ▪ | Fixture shall be incandescent, LED, compact fluorescent or ceramic metal halide with wattages between 10 and 40 watts. Incandescent / LED / compact fluorescent mean lamp lumens shall be between 100 and 3,000 lumens. Ceramic metal halide mean lamp lumens shall be between 1,000 and 12,500 lumens. Fixture shall be used wherever low-level step lighting is necessary. |
| Sign Light  | | | | ▪ | ▪ | ▪ | Fixture shall be incandescent, LED or ceramic metal halide source with wattage between 20 and 150 watts. Incandescent and LED mean lamp lumens shall be between 200 and 3,000 lumens. Ceramic metal halide mean lamp lumens shall be between 600 and 12,500 lumens. Fixture shall be used for sign lighting. |
| Accent Light  | ▪ | ▪ | ▪ | ▪ | ▪ | ▪ | Fixture shall be incandescent, LED or ceramic metal halide source with wattages between 20 and 250 watts. Incandescent and LED mean lamp lumens shall be between 200 and 4,000 lumens. Ceramic metal halide mean lamp lumens shall be between 600 and 18,000 lumens. Fixture shall be used in Parks, Greens, and civic areas. |
| Accent Light  | ▪ | ▪ | ▪ | ▪ | ▪ | ▪ | Fixture shall be incandescent, LED or compact fluorescent source with wattages between 10 and 50 watts. Incandescent, compact fluorescent and LED mean lamp lumens shall be between 100 and 4,000 lumens. Ceramic metal halide mean lamp lumens shall be between 1,000 and 2,700 lumens. |

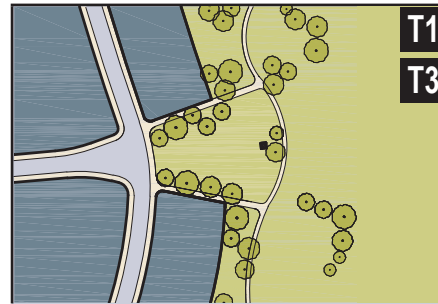
TABLE10: Public Planting. This table shows six common types of street tree shapes and their appropriateness within the Transect Zones. See Landscape Guidelines for species types.

| | T1 | T3 | T4 | T5 | Specifications |
|---|----|----|----|----|--|
| Oval  | | ■ | ■ | ■ | 6' Minimum ht. to first branch. Hold back 3' 6" from street face of Curb. |
| Ball  | | ■ | ■ | | 6' Minimum ht. to first branch. Hold back 3' 6" from street face of Curb. |
| Pyramid  | ■ | ■ | | | Hold back 6' street face of Curb. |
| Umbrella  | | ■ | ■ | | 6' Minimum ht. to first branch. Hold back 3' 6" from street face of Curb. |
| Vase  | | ■ | ■ | ■ | 6' Minimum ht. to first branch. Hold back 3' 6" from street face of Curb. |
| Multi-Stem  | | ■ | | | No closer than 6' from face of Curb. |
| Columnar  | | | | ■ | 6' Minimum ht. to first branch. Hold back 3' 6" from street face of Curb. |

a. Park: A natural preserve available for unstructured recreation. A Park may be independent of surrounding building Frontages. Its landscape shall consist of paths and trails, meadows, water bodies, woodland and open shelters, all naturalistically disposed. Parks may be lineal, following the trajectories of natural corridors. Parks may be divided into two categories:

Passive Park: Its landscape shall consist of paths and trails, boardwalks, meadows, water bodies, wetlands, woodlands, interpretative signage, natural or recreated ecosystems, and open shelters. Playgrounds are permitted but must be of material and form similar to the other elements of the Park. They must be predominantly of a neutral color palette. Parks may be lineal, following the trajectories of natural corridors.

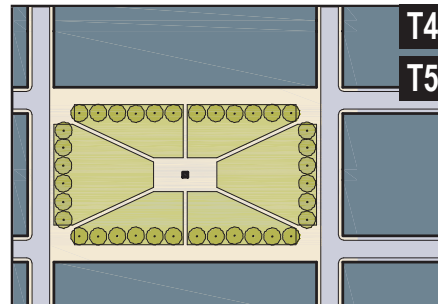
Active Park: characterized by having multi-purpose, active program elements. Its landscape can consist of paths and trails, court sports, pavilions, turf grass, and small paved public areas. Playgrounds are permitted but must be of material and form similar to the other elements of the Park. They must be predominantly of a neutral color palette. All Park elements will be naturalistically disposed.



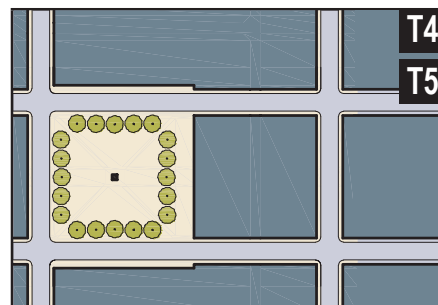
b. Green: An Open Space, available for unstructured recreation. A Green may be spatially defined by landscaping rather than building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed with sitting areas. Greens are located within housing clusters to provide easy access to Open Space for residents. Playgrounds are permitted.



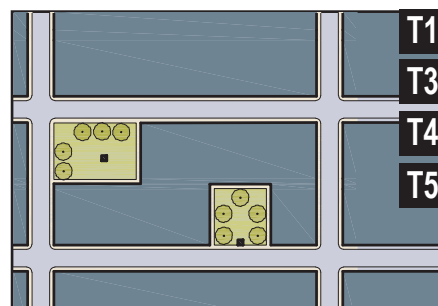
c. Square: An Open Space available for unstructured recreation and Civic purposes. A Square is spatially defined by building Frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. The minimum size shall be 1/2 acre and the maximum shall be 5 acres.



d. Plaza: An Open Space available for Civic purposes and temporary Commercial activities. A Plaza shall be spatially defined by building Frontages. Its landscape shall consist primarily of pavement. Trees are optional and may be used as additional defining elements. Plazas should be located in denser neighborhoods, at the intersection of important streets, or adjacent to Commercial activities. The minimum size shall be 1/2 acre and the maximum shall be 2 acres.



e. Playground: An Open Space designed and equipped for the recreation of children. A playground should be fenced and may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a Block. Playgrounds may be included within Parks and Greens. There shall be no minimum or maximum size. Playgrounds are not allowed in the "Conservation Areas" of T1.



ARTICLE 5. DEFINITIONS OF TERMS

DEFINITIONS

This Article provides definitions for terms in this Code that are technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Article, then the Town of Tuxedo shall determine the correct definition. Items in italics refer to Articles, Sections, or Tables in the SmartCode.

Alley Loaded: a Lot where parking is accessed from an alley along either the rear or side property lines.

Apartment: a dwelling unit sharing a building and a lot with other units and/or uses; may be for rent, sale, or as a condominium.

Arcade: a private frontage conventional for retail use wherein the facade is a colonnade supporting habitable space that overlaps the sidewalk, within a private Right-of-way, while the facade at sidewalk level remains at the frontage line.

Awning: an ancillary lightweight structure of wood, metal, or canvas, cantilevered from a building facade and providing shade to the windows and spatial containment to the pedestrian.

Backbuilding: a single-story structure connecting a principal building to an outbuilding for example as in connecting a garage and a primary building. If a backbuilding is completely enclosed it shall be included in allowable FAR. *See Table 3.*

Basement: a floor in a building, the structural ceiling level of which is four (4) feet or more above the average level of finished grade where such grade abuts that exterior wall of such building which fronts on any street, and the floor level of which is below finished grade at any point on the periphery of the building.

Blade Sign: a double-sided sign that is mounted perpendicularly to the face of a building, projecting outward from the face of a building. The sign is typically limited to 6 square feet in area.

Block: the aggregate of private lots, passages, rear alleys and rear lanes, circumscribed by thoroughfares.

Carriage House: a semi-detached residential building configured with up to four side-by-side dwellings, that are each on its own lot, separated by a vertical party wall.

Civic Building: a building used for artistic and cultural activities, education, religious activities, recreation, government uses, transit, and municipal parking, or for similar use approved by the Planning Board and allowed by the Special Permit and Zoning Law.

Civic Space: a public site permanently dedicated to open space. Civic space types are defined by the combination of certain physical constants including the relationships among their intended use, their size, their landscaping and their adjoining buildings. Civic spaces include: parks, greens, squares, plazas, and playgrounds. *See Table 11.*

Commercial: the term collectively defining workplace, office, and retail uses.

Common Yard: a planted private frontage wherein the facade is set back from the frontage line. It is visually continuous with adjacent yards. *See Table 2.*

Configuration: the form of a building, based on its massing, private frontage, and height.

Courtyard Building: a building that occupies the boundaries of its lot while internally defining one or more private patios. *See Table 5.*

Curb: the edge of the vehicular pavement that may be raised or flush possibly to a swale. It usually incorporates the drainage system. *See Table 8.*

Design Speed: the speed used to determine minimum vertical roadway alignment and sight distance. *See Table 8.*

Design Standards: general design requirements and standards for planned integrated development as defined and permitted in the Zoning Code of the Town of Tuxedo.

Driveway: a vehicular lane within a lot, often leading to a garage or parking area.

Dwelling: a single-family residential unit. A dwelling may be in the form of an apartment, a townhouse, a carriage house, or a single-family detached house.

Edgeyard Building: a building that occupies the center of its lot with setbacks on all sides. *See Table 5.*

Effective Turning Radius: the measurement of the inside turning radius taking parked cars into account. *See Table 3.*

Elevation: an exterior wall of a building not along a frontage line and not including encroachments. *See Table 3.* See: facade.

Encroach: to break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a setback, into the public frontage, or above a height limit.

Encroachment: any structural element that breaks the plane of a vertical or horizontal regulatory limit, extending into a setback, into the public frontage, or above a height limit.

Facade: the exterior wall of a building that is set facing a frontage line. *See Elevation.*

First Floor: a story of a building, at grade or street level or slightly above. In an uphill lot condition, the first floor is the floor above the basement/garage.

Forecourt: a private frontage wherein a portion of the facade is close to the frontage line and the central portion is set back. *See Table 2.*

Front Loaded: a Lot where parking is accessed from the front of the Lot along the principal frontage of the Lot.

Frontage: the area between a building facade and the vehicular lanes, inclusive of its built and planted components. Frontage is divided into private frontage and public frontage. *See Table 3.*

Frontage Buildout (Principal): the sum of the portions of the facade oriented to the principal frontage line and located within the front setback (principal) range. It is expressed as a minimum and maximum percentage of the lot width. *See 2.4.1.k*

Frontage Buildout (Secondary): the linear sum of the portions of the secondary facade oriented to the secondary frontage line that have a horizontal offset distance no greater than 5 ft. It is expressed as a minimum and maximum percentage of the lot depth. *See 2.4.1.k*

Frontage Line: a lot line bordering a public frontage. Facades facing frontage lines define the public realm and are therefore more regulated than the elevations facing other lot lines. *See Table 3.*

Front Setback or Front Setback (Secondary): the area of a lot measured from the frontage line to the building facade for the width of the lot between the side lot lines, that is maintained clear of permanent structures, with the exception of encroachments listed in Section 2.5. See Table 3e and Table 6. (Var: build-to-line.)

Gallery: a private frontage conventional for retail use wherein the facade is aligned close to the frontage line with an attached cantilevered shed or lightweight colonnade overlapping the sidewalk within a private right-of-way. See Table 2.

Green: a civic space type for unstructured recreation, spatially defined by landscaping rather than building frontages. See Table 11.

Gross Floor Area (GFA): All area within the exterior walls of a primary building, backbuilding and outbuilding on a lot, exclusive of basements, attics, and garages in the basement.

Gross Square Feet (GSF): the cumulative sum of finished space and unfinished space in garages, attics, basements and outbuildings on one lot.

Height: the vertical distance, measured from the average elevation of the finished grade along the side of the structure fronting on the nearest street, to the highest point of such structure, excluding a chimney. See Table 4.

Habitable Attic: the finished space within the pitched roof, above the last full story in a building. A habitable attic is equal to .5 story. Attics with no finished space shall not be included in the gross floor area.

Impervious Coverage: the impervious area of a lot. This includes areas included in Lot Coverage and any other areas covered by pavement, building footprint, deck, terrace or porch.

Individual Approval: an approval granted by the Planning Board on a case-by-case basis regarding matters enumerated in the SmartCode as requiring an Individual Approval.

Layer: a range of depth of a lot within which certain elements primarily dealing with parking placement or outbuildings are permitted. See Table 3.

Lightwell: A private frontage type that is a below-grade entrance or recess designed to allow light into basements. See Table 2. (Syn: light court.)

Lot: A parcel of land defined by lot lines. A lot generally accommodates a building or buildings of unified design.

Lot Coverage: the maximum area of a lot which may be occupied by a structure. Lot coverage is expressed as a percentage. Arcades, open porches, decks, terraces, and stoops are excluded from the calculation.

Lot Depth: the mean horizontal distance between the front lot line and the rear lot line, or when an alley is present to the nearest easement or right-of-way line.

Lot Line: the boundary that legally and geometrically demarcates a lot.

Lot Width: the length of the line, parallel or tangent to the principal frontage line, measured at the minimum front setback location on a lot between the side lot lines or when an alley is present, between the side lot line and the nearest easement or right-of-way line.

Mixed-Use: multiple uses within the same building through superimposition or adjacency, or in multiple buildings by adjacency.

Multifamily: a building housing more than one family in separate units in a stacked configuration such as a small apartment or condominium building.

Office: premises available for the transaction of general business but excluding retail, artisanal and manufacturing uses.

Open Space: land intended to remain undeveloped; it may be for civic space.

Outbuilding: a building, usually located toward the rear of the same lot as a principal building, and sometimes connected to the principal building by a backbuilding. See *Table 3*.

Park: a civic space type that is a preserve available for unstructured recreation. See *Table 11*.

Parking Area: an unpaved, unstriped area used for vehicular parking.

Parking Lot: a paved and striped area used for vehicular parking.

Planter: the element of the public frontage which accommodates street trees, whether continuous or individual.

Plaza: a civic space type designed for civic purposes and temporary commercial activities in the more urban Transect Zones, generally paved and spatially defined by building frontages.

Porch and Fence: a planted frontage wherein the facade is set back from the frontage line with an attached porch permitted to encroach. A fence at the frontage line maintains street spatial definition. See *Table 2*.

Principal Building: the main building on a Lot, usually located toward the frontage. See *Table 3*.

Principal Entrance: the main point of access for pedestrians into a building.

Principal Frontage: On corner Lots, the private frontage designated to bear the address and principal entrance to the building. Prescriptions for the parking Layers pertain only to the principal frontage. Prescriptions for the first Layer pertain to both frontages of a corner lot. See frontage.

Private Frontage: the privately held Layer between the frontage line and the principal building facade. Private frontages include the common yard, the porch and fence, the terrace or lightwell, the forecourt, the stoop, the shopfront, the gallery, and the arcade. See *Table 2 and Table 3*.

Public Frontage: the area between the curb of the vehicular lanes and the frontage line. See *Table 8*.

Public Lighting: lighting within the public frontage, civic spaces, public parking areas and lots, and paths designated for public use.

Public Planting: landscaping within the public frontage and civic spaces.

Rear Alley (RA): a vehicular way located to the rear of Lots providing access to service areas, parking, and outbuildings and containing utility easements.

Rearyard Building: a building that occupies the full frontage line, leaving the rear of the lot as the sole yard. See *Table 5*. (Var: Townhouse, Apartment)

Rear Setback: the area of a lot measured from the rear lot line and side lot lines to an elevation that is maintained clear of permanent structures, with the exception of encroachments listed in Section 2.5. See *Table 3e and Table 6*. (Var: build-to-line.)

Recreational Structure: a building, kiosk, trail head, or enclosed but uncovered structure located within a civic space or Transect Zone that is primarily dedicated to recreational use or used by persons participating in a recreational activity.

Regulating Plan: a plan or set of maps that shows the Transect Zones, Civic Zones, Special Districts, and Special Requirements if any, of areas subject to, or potentially subject to, regulation by the SmartCode.

Residential: characterizing premises available for long-term human dwelling.

Retail: characterizing premises available for the sale of merchandise and food service. Retail uses are as defined by the Special Permit.

Secondary Frontage: on corner Lots, the private frontage that is not the principal frontage. As it affects the public realm, its first layer is regulated. *See Table 3.*

Setback: the area of a lot measured from the lot line to a building facade or elevation that is maintained clear of permanent structures, with the exception of encroachments listed in *Section 2.5*. *See Table 3e and Table 6.* (Var: build-to-line.)

Shopfront: a private frontage conventional for retail use, with substantial glazing and an awning, wherein the facade is aligned close to the frontage line with the building entrance at sidewalk grade. *See Table 2.*

Sidewalk: the paved section of the public or private frontage dedicated exclusively to pedestrian activity.

Sideyard Building: a building that occupies one side of the lot with a setback on the other side. *See Table 5.*

Side Setback: the area of a lot measured from the side lot line, and between the front lot line and rear lot line to an elevation, that is maintained clear of permanent structures, with the exception of encroachments listed in *Section 2.5*. *See Table 3e and Table 6.* (Var: build-to-line.)

Single-family detached house: a free-standing residential building on its own Lot containing a single dwelling.

Square: a civic space type designed for unstructured recreation and civic purposes, spatially defined by building frontages and consisting of paths, lawns and trees, formally disposed. *See Table 11.*

Stoop: a private frontage wherein the facade is aligned close to the frontage line with the first story elevated from the sidewalk for privacy, with an exterior stair and landing at the entrance. *See Table 2.*

Story: a habitable level within a building, excluding an attic or basement. A half story (.5 story) refers to a habitable attic. *See Table 4.*

Streetscreen: a freestanding wall or combination of wall and landscape built along the frontage line, or coplanar with the facade. It may screen a parking lot from the thoroughfare, provide privacy to a side yard, and/or strengthen the spatial definition of the public realm. (Syn: streetwall; *See Landscape and Architectural Design Guidelines*)

Swale: a low or slightly depressed area for drainage.

T-zone: Transect Zone.

Terrace: an outdoor paved area on a roof or on grade.

Thoroughfare: a way for use by vehicular and pedestrian traffic and to provide access to lots and open spaces, consisting of vehicular lanes and the public frontage. *See Table 8 and Table 3.*

Townhouse: a single-family dwelling on its own lot that shares a party wall with another of the same type and occupies the full frontage line. *See rearyard building.*

Transect: a cross-section of the environment showing a range of different habitats. The rural-urban Transect of the human environment used in the SmartCode template is divided into six Transect Zones. These zones describe the physical form and character of a place, according to the density and intensity of its land use and urbanism.

Transect Zone (T-zone): One of several areas on the Regulating Plan regulated by the SmartCode. Transect Zones are administratively similar to the land use zones in conventional codes, except that in addition to the usual building use, density, height, and setback requirements, other elements of the intended habitat are integrated, including those of the private lot and building and public frontage. *See Table 1.*

Turning Radius: the curved edge of a thoroughfare at an intersection, measured at the inside edge of the vehicular tracking. The smaller the turning radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn. *See Table 3.*

Waiver: the modification or elimination of a provision of the SmartCode under the express terms and conditions set forth in the Special Permit and Article 1, Section 1.3.3 and 1.3.4 of the SmartCode.

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SMARTCODE

Tuxedo Farms, Orange County, New York

CHECK LIST FOR BUILDINGS

(The checklist is intended as an aid in the review of buildings. It is not a regulatory document)

APPLICANT NAME: _____

REGULATING PLAN

- 1. Determine the location of the Lot on the Regulating Plan Street: _____
- 2. Determine the Transect Zone of the proposed Lot T-Zone: _____

TABLE 1: Transect Zone Summary

Note : Table 1 refers to Table 6 and other Tables for additional building and Lot criteria.

- 1. Locate T-Zone from above on Table 1 T-Zone: _____
- 2. Verify that the proposed Building Use is permitted in the T-Zone Use : _____
- 3. Verify that the proposed Building Type is permitted in the T-Zone Type: _____
- 4. Verify the Lot Dimensions; See Table 6 where indicated and Table 7 for Lot Bulk Standards. Lot Dim : _____
- 5. Verify the Building Stories permitted in the T-Zone: See Tables 4 & 6 for additional Height information and criteria Stories Principal: _____
- 6. Verify that the Lot Coverage does not exceed that permitted in the T-Zone; see Table 6 where indicated Coverage: _____
- 7. Verify that the Setbacks comply with the T-Zone; See Table 6 where indicated Setbacks Frt: _____
Side: _____
Rear: _____
- 8. Outbuilding Yes / No _____
Setback compliance; see Table 6 where indicated Yes / No _____
- 9. Verify that the Lot and building comply with Special Landscape Provisions Yes / No _____

TABLE 2: Private Frontage

- 1. Verify that the proposed building has Frontage type allowed in the T-Zone Frontage Type: _____

TABLE 6: Building Types

- 1. Find the proposed Building Type in Table 6 Type: _____
 - 2. Verify the Building Height; also see Table 4 Height (ft) Principal: _____
Stories Outbuilding: _____
 - 3. Verify Building Placement; see Table 5 to review definitions Placement: _____
 - 4. Review Lot Dimension, Setbacks, and Outbuilding Placement where indicated by Table 1 above Indicate Above
 - 5. See Article 2 Section 2.6 for Parking Standards Garage In Layer: _____
Park Area in Layer: _____
Rule No (s): _____
- Verify compliance with Rules and Exceptions in Section 2.6

TABLE 7: Bulk Standards

- 1. Use Building Type and Lot size to determine allowable Gross Floor Area Lot Area: _____
GFA: _____




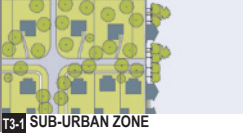


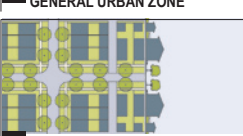
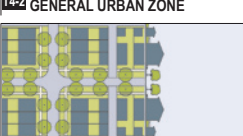
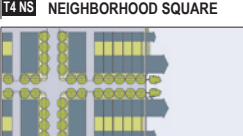
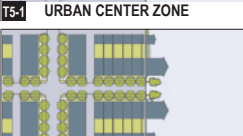


ARTICLE 2: General Provisions

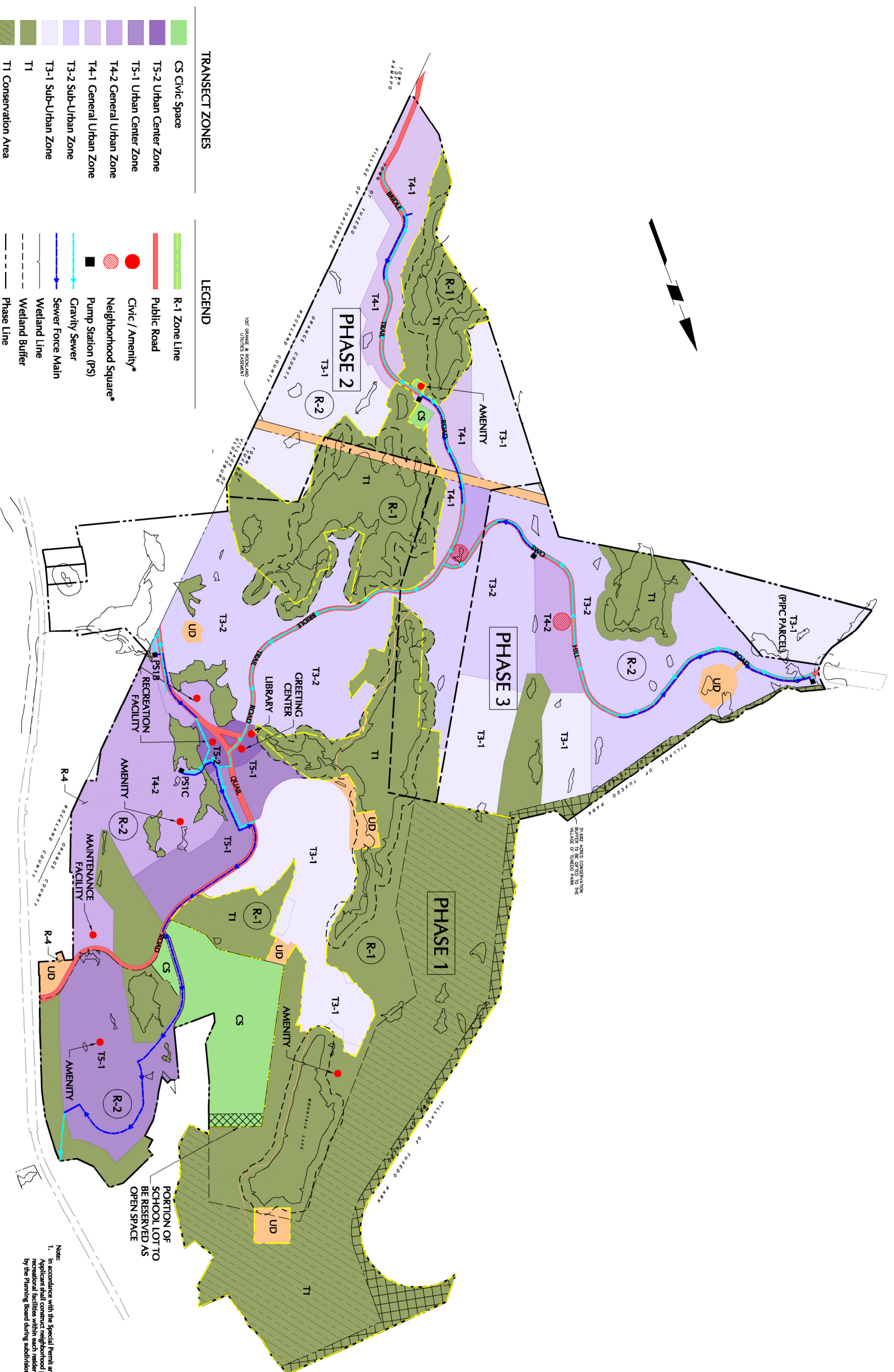
- 1. Review Article 2 for any general provisions Rule No (s): _____

DESIGN GUIDELINES

Refer to Design Guidelines on Architecture, Landscape, & Sustainable Practices

TABLE 1. TRANSECT ZONE SUMMARY

| | DESCRIPTIONS | USES PERMITTED | BUILDING TYPES PERMITTED | MINIMUM LOT SIZE | BUILDING HEIGHT | LOT COVERAGE | SETBACKS | | SPECIAL LANDSCAPE PROVISIONS | CIVIC SPACE |
|--|---|--|---|---|---------------------------------------|----------------|--|----------------|---|--|
| | | | | | | | PRINCIPAL BUILDING (For Setbacks not listed See Table 6) | OUTBUILDING | | |
|  T1 NATURAL ZONE | Natural Zone consists primarily of undisturbed Open Space. T1 includes shared and dedicated Open Space. Per the Special Permit, dedicated Open Space shall be undisturbed natural areas and shared Open Space shall allow recreational activities, stormwater management, and infrastructure for water supply. Recreational Structures may require an Individual Approval. | Not applicable | Not applicable | Not applicable | Not applicable | Not applicable | Not applicable | Not applicable | Not applicable | Park Playground |
|  T1 BUFFER | The T1 Buffer consists of dedicated Open Space. The area referred to as Buffer is dedicated (see Regulating Plan). The Buffer is to be gifted to the Village of Tuxedo Park pursuant to Section 9 of the Special Permit. | Not applicable | Not applicable | Not applicable | Not applicable | Not applicable | Not applicable | Not applicable | Not applicable | Park |
|  T1 CONSERVATION AREA | The T1 Conservation Area consists of land encumbered by a Conservation Easement and restricted in perpetuity by a Declaration of Covenants and Restrictions which ensures that such Open Space can never be developed for commercial or residential uses. | Not applicable | Not applicable | Not applicable | Not applicable | Not applicable | Not applicable | Not applicable | Not applicable | Park |
|  T3-1 SUB-URBAN ZONE | Sub-Urban 1 Zone consists of low density Residential areas. Outbuildings are allowed. Planting is naturalistic and Setbacks are modest. Blocks may be large and the road alignments configured to accommodate natural conditions. Roads may or may not have Sidewalks. | Residential | Estate Manor Village | See Table 6 | 2.5 stories max. 45' max. to ridge | See Table 6 | Front, principal: 20 ft min., no max. | See Table 6 | | Park Green Playground |
|  T3-2 SUB-URBAN ZONE | Sub-Urban 2 Zone consists of low density Residential areas. Home occupations and Outbuildings are allowed. Planting is naturalistic and Setbacks are modest. Blocks may be large and the roads configured to accommodate natural conditions. T3-2 is more urban in character than T3-1, with slightly smaller Lots, tighter building Setbacks and Sidewalks. | Residential | Estate Manor Village Cottage (Front Loaded) Cottage (Alley Loaded) | See Table 6 | 2.5 stories max. 45' max. to ridge | See Table 6 | Front, principal: 15 ft min., 25 ft max. | See Table 6 | | Park Green Playground |
|  T4-1 GENERAL URBAN ZONE | General Urban 1 Zone consists of a primarily Residential urban fabric. It has a wide range of building types: Detached Single-Family Houses and Townhouses. Setbacks and landscaping are variable. Streets with Curbs and Sidewalks define medium-sized Blocks. * Building types with an asterisk are limited to 20% (each) of total units in this T-Zone | Residential | Village Cottage (Front Loaded) Cottage (Alley Loaded) Carriage House * Townhouse (Common) * Townhouse (Tuck-Under) * | See Table 6 | 2.5 stories max. 45' max. to ridge | See Table 6 | Front, principal: 12 ft min., 20 ft max. Front, secondary: 5 ft min. | See Table 6 | | Green Square Plaza Playground |
|  T4-2 GENERAL URBAN ZONE | General Urban 2 Zone consists of a primarily Residential urban fabric. It has a wide range of building types: Detached Single-Family Houses and Townhouses. Setbacks and landscaping are variable. Streets with Curbs and Sidewalks define medium-sized Blocks. T4-2 is more urban in character than T4-1 with buildings having shallower front Setbacks and Stoops being allowed. | Residential | Cottage (Front Loaded) Cottage (Alley Loaded) Townhouse (Common) Townhouse (Tuck-Under) Carriage House | Lots may not exceed minimum width by more than 10 ft. See Table 6 for specific Lot dimension require- ments. | 2.5 stories max. 45' max. to ridge | See Table 6 | Front, principal: 10 ft min., 15 ft max. Side: 0 ft min. at party wall; 10 ft max. at prop line | See Table 6 | | Green Square Plaza Playground |
|  T4 NS NEIGHBORHOOD SQUARE | The Neighborhood Square Zone promotes intimate pedestrian-oriented streets and houses surrounding small landscaped urban Squares. Through both architecture and landscape, this Zone creates an important identity for each of these small Squares. The standards in this Zone are rooted in the best traditions of vernacular place-making found in North America. Streets have Curbs and Sidewalks. | Residential | Cottage (Alley Loaded) Townhouse (Common) Townhouse (Tuck-Under) Carriage House | 25 ft wide min, 50 ft wide max. | 3 stories max. 45' max. to ridge | 70% max. | Front, princ: 12 ft min., 12 ft max. Side: 0 ft min. at party wall; 10 ft max. at prop line Frontage Buildout: 50% min, 100% max. Secondary Frontage Buildout: 65% min, 90% max. | See Table 6 | Fencing is mandatory at Principal and Secondary Front Setbacks. | Square Plaza |
|  T5-1 URBAN CENTER ZONE | Urban Center 1 Zone consists of higher density Residential and Mixed-Use buildings that accommodate Retail, Offices, Townhouses and Apartments. It has a tight network of streets, with wide Sidewalks, steady street tree planting and buildings set close to the Sidewalks. | Mixed-Use: Residential Office Retail Live/Work | Townhouse (Common) Townhouse (Tuck-Under) Multifamily Mixed-Use | See Table 6 | 3.5 stories max. 52' max. to ridge | See Table 6 | Front, principal: 8 ft min., 13 ft max. (18 ft max. for handicap access) | See Table 6 | | Square Plaza Playground |
|  T5-2 URBAN CENTER ZONE | Urban Center 2 Zone consists of higher density Mixed-Use buildings that accommodate Retail, Offices, Townhouses and Apartments. It has a tight network of streets, with wide Sidewalks, steady street tree planting and buildings set close to the Sidewalks. T5-2 is more urban than T5-1 with taller buildings and shallower front Setbacks allowed and higher Frontage Buildout required. | Mixed-Use: Residential Office Retail Live/Work | Townhouse (Tuck-Under) Multifamily Mixed-Use | See Table 6 | 4 stories max. 52' max. to ridge | See Table 6 | Front, principal: 3 ft min., 8 ft max. (18 ft max. for handi- cap access) | See Table 6 | | Square Plaza Playground |
|  CS/CB CIVIC SPACE/CIVIC BUILDINGS | Includes public buildings and their associated public Open Spaces and Parks per Table 11. | | | | | | | | | |
|  UD UTILITY DISTRICT | Consists of general shared utility services including well heads, pump stations, water supply and storm water management infrastructure. | | | | | | | | | |



TRANSVERSE ZONES

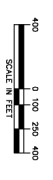
- CS Civic Space
- T5-2 Urban Center Zone
- T5-1 Urban Center Zone
- T4-2 General Urban Zone
- T4-1 General Urban Zone
- T3-2 Sub-Urban Zone
- T3-1 Sub-Urban Zone
- T1
- T1 Conservation Area
- T1 Buffer
- UD Utility District

LEGEND

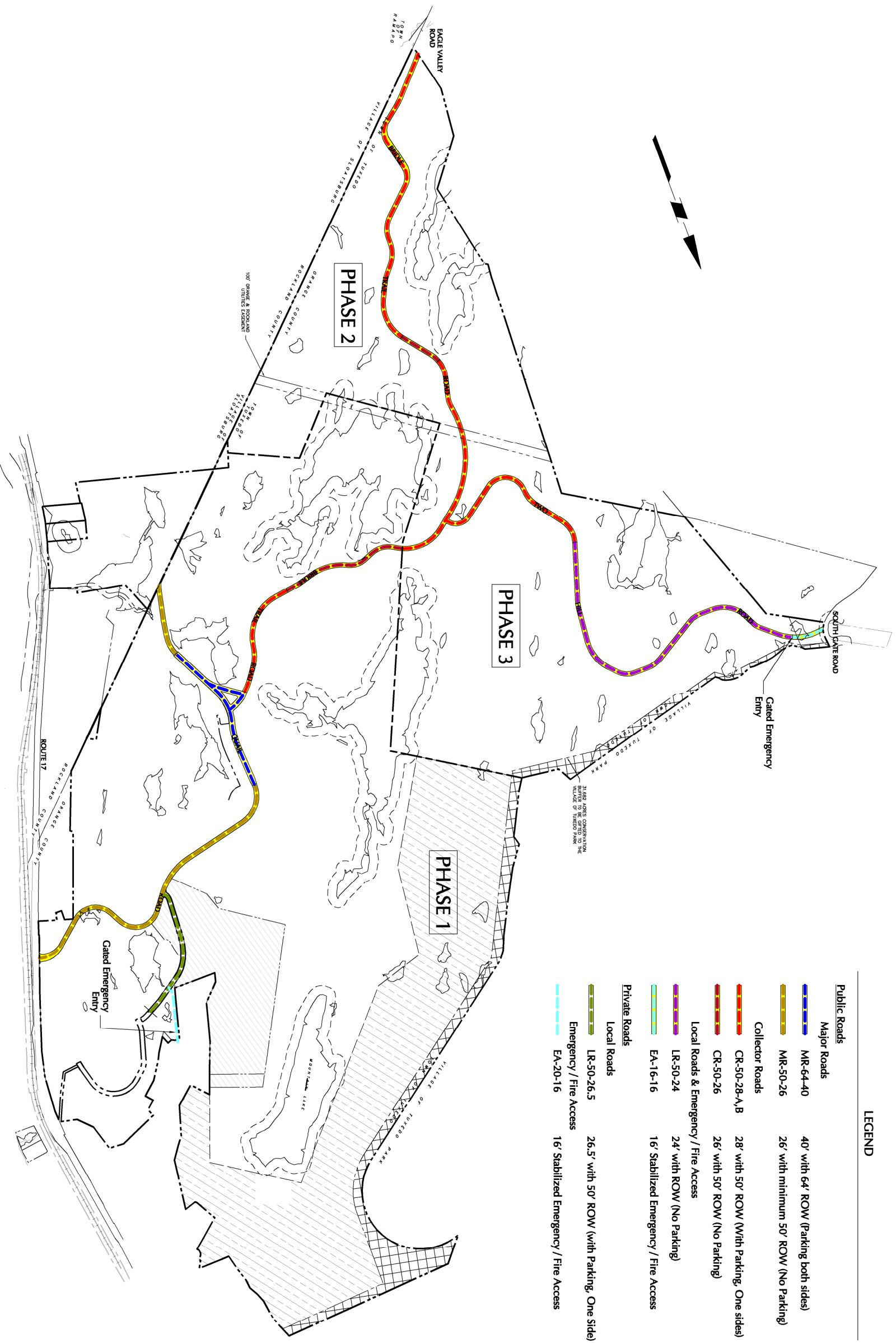
- R-1 Zone Line
- Public Road
- Civic / Amenity*
- Neighborhood Square*
- Pump Station (PS)
- Gravily Sewer
- Sewer Force Main
- Waterline
- Wetland Buffer
- Phase Line

* Civic / Amenity and Neighborhood Square areas are shown for general location only. The areas will be specifically located during the subdivision approval process for each neighborhood.

1 Regulating Plan
 Scale: 1" = 400'



Note:
 1. In accordance with the Special Permit and Tuxedo Design Standards, the Applicant shall construct neighborhood parks, playgrounds or other such recreational facilities within each residential neighborhood as approved by the Planning Board during subdivision site plan approval process.



1 Southern Tract Proposed Road Hierarchy
 Scale: 1" = 400'